

**Historic Area Commission  
Community Room Senior Center  
400 South St., New Castle, DE 19720  
Thursday, June 11, 2026 – 6:30 p.m.**

**EACH APPLICATION IS A SEPARATE PUBLIC HEARING**

The agenda items listed may not be considered in sequence.

**AGENDA**

**OLDER/TABLED APPLICATIONS**

No older/taled applications at this time.

**NEW APPLICATIONS**

1. 25 E 4<sup>th</sup> St – Joseph Mason – Remove and replace porch materials.
2. 46 E 3<sup>rd</sup> St – Diane C. Bristow – New shed.
3. 140 E 3<sup>rd</sup> St. – James Coty – Repoint masonry, install flood lights, build brick parking space, install EV charger, build wood deck, repair and replace fence, replace front door, install metal and railings steps
4. 900 Washington – Sharlene Oyagi-Rear deck

**CONSULTATIONS**

No Consultations at this time.

**OLD BUSINESS**

No Old Business at this time.

**NEW BUSINESS**

1. Review of the minutes.
2. Planning Commission Update.

**PUBLIC COMMENTS**

Public Comments on agenda items only.

Posted: 5/27/26

If you are unable to attend the meeting, questions and comments will be taken via email up to 3:00 p.m. on Thursday, June 11, 2026 at [info@newcastlecity.delaware.gov](mailto:info@newcastlecity.delaware.gov).

HISTORIC AREA COMMISSION  
New Castle Police Community Room  
1 Municipal Drive  
March 12, 2026

Present: Tera Hayward-Olivas, Chairperson  
Michael Westman  
Carmella Longobardi  
Mark Lorenz  
Joshua Boles, Superintendent, First State Historical Park

Absent: Stephen Franklin, Planning Commission Liaison

Also Present: Jeff Bergstrom, City Building Official  
Michael Hoffman, City Solicitor

Ms. Hayward-Olivas convened the meeting at 6:30 p.m. Roll call followed and a quorum to conduct business was declared.

### **Minutes**

**March 12, 2026 – A motion was made by Mr. Westman to approve the minutes of the March 12, 2026, meeting as amended. The motion was seconded by Mr. Ms. Longobardi and was passed with a vote of four (4) in favor and one (1) abstaining (*Mr. Boles*).**

### **Old/Tabled Applications**

There were no old/tabled applications.

### **New Applications**

#### **807 Frenchtown Road – Trustees of the New Castle Common – Paving of Driveway**

An application was submitted to install asphalt paving on ground portions of the Farm House driveway. Trustees Peter Toner and David Baldini were present representing the Trust.

Mr. Toner explained that the application was submitted to pave approximately  $\frac{1}{4}$  mile of lane at 807 Frenchtown Road from the gate at 807 Frenchtown to the existing parking spaces. Mr. Toner provided background on the matter, stating that prior to Mr. Bergstrom going on vacation he informed the Trustees that an application would be required for this work and an application was duly submitted. The Trust's contractor subsequently informed the Trustees that he had received a Building Permit from the City. Mr. Toner was aware that Mr. Bergstrom had left and he told the contractor to hold off on beginning the project until he could speak to the City regarding when the project could commence. Mr. Toner texted City Administrator Tantillo that evening explaining the situation and that the contractor was anxious to begin the project by noon the next day. Ms. Tantillo replied that if the Trust had a Building Permit work could begin, but added that she would also speak with Mr. Bergstrom. Mr. Bergstrom responded to Mr. Toner via text at approximately 2:00 a.m. and Ms. Tantillo responded the next evening. Mr. Toner stated that he attempted to reach the contractor but was unsuccessful and the contractor completed the project.

Mr. Toner further explained that in addition to MSC trucks using the lane to access their water treatment facility, heavy equipment and work vehicles used by William Penn High School and Paul Lester in connection with their use of the farmland, and trash trucks all use the farm lane for required access to the property.

Mr. Bergstrom stated that Mr. Toner described the situation adequately.

Ms. Hayward-Olivas stated that HAC is not part of issuing Building Permits, and opined that when it comes to sites under the purview of HAC, a Historic Review Certificate must be issued before a Building Permit can be issued. Ms. Hayward-Olivas was unable to speak to why the Building Permit was issued first.

Mr. Hoffman added that the fact that the Building Permit was issued in error does not negate the review by HAC, and the Trustees are before the Board to conduct a review of the role the Trust performed.

Mr. Lorenz asked Mr. Hoffman to follow-up with the City to determine how the error occurred and what can be done to prevent this recurring in the future. In response to a question from Mr. Lorenz as to why the project was not reviewed as Tier 1, Mr. Bergstrom stated that he and the City Architect and he made the decision jointly based on the significance of the site.

Ms. Hayward-Olivas added that the Farmhouse is an individually listed building on the National Register of Historic Places and as such, it falls under the purview of HAC. She read excerpts from the City Architect's notes that state:

Review and Findings:

- “The driveway is specifically referenced in the National Register of Historic Places as the Farm Lane.”
  - This dirt and gravel farm lane, dating pre-1941, runs north-south through the property providing access to the complex from both Frenchtown Pike and School Lane. **Contributing site.**
  - This site is “the last surviving farm of New Castle Common”.
  - The area of significance is ... 1804 to 1941 (setting the driveway within that period).
  - The driveway is minimally visible from the public right-of-way but is a part of the experience of the original layout to the farmed lands and the farm buildings.
  - The dirt and gravel pathway has already been modernized in sections to meet vehicular accessibility needs and guarantee barrier-free access.
  - The impact of paving the length of the driveway will change the perception of sections of the road. However, this can conform to HAC Design Guidelines & Standards if the asphalt has a rustic appearance, with textures and finish **that are not shiny new black asphalt.** This can be achieved with a chip seal or gravel overlay, with scattered small stones of different sizes and colors (pea gravel, crushed stone, or river rock) over a sprayed liquid asphalt binder creating a more appropriate, gravel-road texture while keeping the base paved.

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Recommendation:

- This dirt and gravel farm lane, dating pre-1941, is listed as a Contributing site to the NRHP listing.
- Repaving will not impact the primary layout of the lane as a connector to the farmhouse and adjacent buildings beyond.
- Gravel/dirt roads strongly evoke the agricultural significance of Penn's Farm.
- New asphalt paving should be finished in a way that mimics a gravel/dirt driveway, with embedded small stones, crushed gravels of sand: Layering texture, stone, and colors can make asphalt look like a gravel or dirt road while keeping it durable and easy to maintain.
- **New flat shiny black asphalt is not appropriate.**

In response to Mr. Lorenz's question as to whether the work was performed in a manner consistent with the City Architect's recommendation Mr. Toner stated that the paving is definitely not "black and glossy", and it has already started to fade. Mr. Toner added that the character, path, and width of the road were not changed.

Mr. Toner also stated that the lane could be mildly treacherous in winter weather. He stated that adding a coating to the paving is not impossible; and contended that it is not visible from the street.

Mr. Toner stated that the Trust predates the United States and the Trustees respect history.

Ms. Hayward-Olivas explained that HAC can only make a decision based on the information they have in front of them, the Design Guidelines & Standards, and the recommendations from the City Architect. She added that they received very limited information and no images of the completed work, and opined that the Board does not have enough information to make a decision at this time.

Mr. Lorenz asked if an overlay could be applied that would bring the project more in line with the City Architect's recommendation.

Mr. Toner asked if the application could be tabled to allow the Commissioners and/or the City Architect the time to inspect the site. Ms. Hayward-Olivas concurred that the application could be tabled with the applicant's permission. She added that the application still requires modifications and a site visit. Mr. Hoffman recommended that if the Board tables the application that it is noted that there is mutual consent to the tabling.

In response to Mr. Lorenz's suggestion of putting an overlay on top of the asphalt, Mr. Baldini expressed his concern that there will be a bonding issue that could create a repair cycle which then becomes a health and safety issue. Mr. Baldini reiterated that heavy vehicles and equipment regularly access the driveway, and opined that any additional solution should be better than what has been done.

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Ms. Hayward-Olivas reiterated that the Board is not in a position to make a decision at this time. She recommended that the Trustees have a consultation with the City Architect and come back with a modified application that is more complete.

Messrs. Baldini and Toner stated they would consent to tabling the application. Mr. Toner reiterated his recommendation that the Board members inspect the site. Mr. Hoffman added that by tabling the application, the Trust can supplement the application with pictures, etc. He opined that what Ms. Hayward-Olivas is saying is that would be helpful; but that it would be mutually beneficial if the Trustees have a conversation with the City Architect.

In response to comments from Mr. Toner, Mr. Hoffman stated that the City Architect's recommendation is only a recommendation, and whether the Board tables the application or makes a decision, it is within the purview of HAC. He added that even where a Building Permit is issued in error, if the Code requires it a Historic Review Certificate must be received before the project can go forward; adding that the fact that the Building Permit was issued in error does not negate the HAC review. Mr. Hoffman also noted that the applicant would come back to HAC under the original application with supplemental information.

*Public Comments*

In response to several comments/questions, it was noted that:

- It is the same blacktop that is used in town.
- The City Architect recommended that new asphalt paving should be finished with embedded small stones, crushed gravels or sand to mimic a gravel/dirt driveway.

Mr. Hoffman raised a Point of Order, stating that Public Comment is not a platform for debate, and if there are questions then the Board can follow up.

*Public Comments, cont.*

- Grants are not available.

**A motion to table the application for 807 Frenchtown Road was made by Mr. Lorenz. The motion was seconded by Joshua Boles and was unanimously passed.**

124 East 4<sup>th</sup> Street – JD & Cynthia Savelli – Replace damaged front steps.

An application was submitted to replace damaged and dangerous front door steps with the same design, except wider and deeper landing area in front of door for safer home entry.

No one was present to represent the applicants.

Ms. Hayward-Olivas reviewed the City Architect's notes:

Background:

- It is the intent to make the replacement stair wider with a deeper landing.

Additional Information:

- Posts are 3.5" x 3.5" x 36".

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- Balusters are 5” x 1.5” horizontal. These are no longer the vertical balusters noted in the original application. The applicant proposes to match the existing railing, which they note is like other front door wood steps in Historic New Castle.
- The railing top is 3.5” x 1.5”.
- Wood will not be pressure treated wood.
- The handrail profile will be code compliant.

Review & Findings:

- The increased footprint allows for a safer landing and would appear not to expand beyond the alignment of the adjacent porch.
- The wood design is very rust for street facing stairs, even for workman-like housing. Furthermore the footprint would make it more prominent. This is not an appropriate design for this location. A railing design with lighter wood elements (slimmer profiles) for the railing would be more appropriate.
- If the expanded footprint is approved by HAC, a modified design of the railing could be reviewed with the City Architect at a later date for an administrative consultant and review process.

Ms. Hayward-Olivas stated that the City Architect recommended that if the expanded footprint is approved, she recommends that a modified design of the railing could be reviewed with her at a later date for an administrative consultation and review process.

Ms. Hayward-Olivas explained that the City Architect stated that the design included with the original application is more appropriate. Ms. Hayward-Olivas stated that the applicant modified the original application with a design that matches the existing railing design, which is very rustic and not appropriate; and the City Architect is recommending a slimmer profile.

Mr. Hoffman restated that the application before the Board is a modified application with a more rustic design, and the City Architect is recommending that the design in the original application is more appropriate. Why they made the change to the horizontal balusters is unclear.

Ms. Hayward-Olivas suggested that the widening of the steps and the increase in depth could be approved with the condition that the applicant meets with the City Architect regarding the modified design, which could be approved administratively.

Mr. Lorenz noted that the application does not address painting the treads, kick plates and railing to be consistent with the existing stairs (white treads and grey railing). Ms. Hayward-Olivas stated that in accordance with the Guidelines & Standards the wood would need to be finished with stain or paint.

A motion was made by Mr. Lorenz to approve the application with the condition that the material be painted and that the balusters be consistent with the original application for review by the City Architect.

*Public Comment*

There were no comments from the public.

It was noted that the original motion did not address the possible approval of the footprint, and Mr. Lorenz amended his motion:

**A motion was made by Mr. Lorenz to approve the application for 124 East 4<sup>th</sup> Street including the footprint, with confirmation that the finishes would be painted, and that the balusters would be consistent with the slimmer profile as submitted in the original application, and other design elements per consultation with the City Architect. The motion was seconded by Mr. Westman and was unanimously passed.**

100 Harmony Street – Immanuel Episcopal Church – Replace windows and roof.

An application was submitted to replace the existing failing windows on the 2<sup>nd</sup>, 3<sup>rd</sup>, and 4<sup>th</sup> floors of the property. As the windows cannot be preserved, they will be replaced in kind replicating the original in materials, size, and design. The new windows will be fit into the original opening and will not require any modification to the existing sills, lintels, surround, or trim. The heavily rotted shutters will be removed, restored and reinstalled. They will be refinished and some that cannot be restored will be replaced in kind replicating the original in both materials and design.

Ms. Hayward-Olivas and Messrs. Lorenz and Westman stated for the Record that they are parishioners of Immanuel Episcopal Church.

Ms. Hayward-Olivas stated this is a very prominent building in the City, and of the buildings in New Castle is only the second building that is known to be attributed to Peter Crouding, who built the George Read House.

Ms. Hayward-Olivas reviewed the City Architect's notes:

Background:

- The scope of work included the restoration or replacement of windows street-facing on the 2<sup>nd</sup>, 3<sup>rd</sup>, and 4<sup>th</sup> floors and partial replacement of shutters and roof replacement.
- The roof replacement was addressed as Tier 1.

Review:

- The application for the roof replacement with GAF Timberline HDZ Architectural Shingles was approved.
- The application for limited replacement of damaged fascia board with new wood fascia board was approved.
- The application for window and shutters repair/replacement was noted as:
  - To be determined. Full scale replacement will require assessment by HAC architect during site visit and approval by HAC.
  - Contractor or applicant to contact City Architect via email or phone to schedule a meeting.

- The application must come back to HAC due to the scale of replacement work.

Comments/Recommendations:

- The proposed replacement windows have Simulated Divided Lights with applied muntins and are not true divided lights.

Ms. Hayward-Olivas stated that there is a lack of information regarding windows for this scale, noting this is not a true “in-kind” replacement and the application does not include specs showing the profiles of the muntins. She noted that the application includes replacement of six (6) windows on The Strand, making a total of 21 windows. She noted there appears to be some damage to the window, but there is no evidence of damage to the sashes that would warrant full replacement based on the information in the application.

Ms. Hayward-Olivas recommended that the Board follow the City Architect’s recommendation that the applicant’s contractor contact her. She confirmed that the roof and fascia work was approved as Tier 1.

*Public Comment*

There were not comments from the public.

Mr. Hoffman stated that the application could be tabled, but cautioned that the June HAC meeting cannot be cancelled.

**A motion was made by Mr. Lorenz to table the application for 100 Harmony Street with the condition that the applicant’s contractor contact the City Architect regarding the windows and shutters. The motion was seconded by Mr. Westman and was unanimously passed.**

Mr. Tim Connolly stated that he had submitted an application for 900 Washington Street in March for a small back deck replacement. Ms. Hayward-Olivas stated that his application was not part of the Agenda and could not be discussed at this time. She recommended that he contact the City Office. Mr. Hoffman stated he would follow-up to determine the status of the application and will contact Mr. Connolly.

**Old Business**

There was no old business to discuss.

**New Business**

Planning Commission Update

In Mr. Franklin’s absence, Ms. Hayward-Olivas stated there would be no update from the Planning Commission.

Signage in the Historic Commercial District

Ms. Hayward-Olivas introduced the draft of a high level overview of the application and review process for commercial signage in the Historic Commerce District (HCD that was created with the input of legal counsel. It is only for applicant convenience and does not replace any

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Ordinances or permit processes. It is for anyone opening a business in the HCD so they can see that there are requirements and that additional information is available in the Guidelines & Standards.

Mr. Hoffman stated that as a general best practice it is not typically a good idea to have a lot of different “guidance” when you have a Guidelines control. The exception with signage is that there has been a lack of clarity that signage in the HCD must come before HAC for review and approval, and by calling this out specifically and having examples, it is acceptable as a supplemental informational document.

Mr. Lorenz opined that this document would be welcome because there is quite a bit of inconsistency of signage. He added that having this information for a new business owner is good, it doesn’t address the lack of movement on existing signage that is non-compliant; and the draft document does not address this issue. He noted that this would have to be addressed through Code Enforcement. Mr. Hoffman explained that it is a Code Enforcement issue, and he could not speak to that at this time; however, addressing existing signage is outside the purview of HAC.

The general consensus of the Board was that the document would be helpful and the examples provide some guidance as to what is and is not acceptable.

A general discussion ensued regarding what the community can do to bring existing non-conforming signage into compliance with the Guidelines & Standards. Ms. Hayward-Olivas stated that HAC does have a pre-application consultation process that is available to everyone, and she would recommend new business owners to take advantage of that.

In response to a question from Mr. Lorenz, Mr. Hoffman confirmed that there is nothing in the draft document that conflicts with the Guidelines & Standards.

During discussion it was noted that the document was previously reviewed; however, it was tabled to give new members the opportunity to review it.

*Public Comment*

Rodney Pratt

Mr. Pratt questioned whether the City would address the cost of signage for business owners who cannot afford to meet the requirements in the Guidelines & Standards and whether there would be any financial assistance available to them. Ms. Hayward-Olivas reiterated that the Guidelines & Standards are not be revised or changed, and as far as cost goes the designers of the Guidelines & Standards made the decision that HAC would not consider finances in its determinations. She added that there are other agencies that provide assistance for Historic areas, but she did not know if any of them include signage.

Amada Rose

Ms. Rose made a number of suggestions:

- Since the Guidelines & Standards were established in 2014, it might be time to review and/or update them.

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- There may be other organizations in town that could assist new business owners financially to update their signage through sponsorships or scholarships (i.e., the Trust, established businesses).
- The turn-around time for the approval of signage should be reviewed.
- There is no commission that represents the business owners to give HAC feedback, and there could be some type of collaboration opportunity to have an open community conversation. Ms. Hayward-Olivas stated that HAC is an appointed commission; and although she appreciated the comments, that is not how HAC works. She reiterated her suggestion of the pre-application consultation.

Cynthia Batty

Ms. Batty stated that she obtained a detailed guidance document from the City of Wilmington to draft this document, and there are many Historic areas that do have documents that do not repeat or override their Code.

In addition, Ms. Batty opined that:

- Regardless of the fact that non-compliant signage is a the purview of Code Enforcement, she opined that when there is opportunity to approach non-conformant businesses to tell them that they are not in compliance and suggest that they bring their sign to HAC.
- These are huge gaps in our service to the community in the Historic District. She added that there is signage in the HCD that has been cited and is still there two (2) years later.
- The Trustees or the New Castle Community Partnership could be asked for financial assistance.
- There are plenty of things we can do; but to just close things off and say “we’re not going to give guidance” does not help and the city ends up with an appalling hodge-podge in the HCD.

Mr. Lorenz opined that the document would be helpful for new businesses or replacement signage needed within the city.

**A motion was made by Mr. Lorenz to approve the draft document on signage. The motion was seconded by Mr. Boles and was unanimously passed.**

Mr. Boles spoke to Mr. Pratt, noting that there are, outside the City of New Castle, funding streams to assist small businesses to be successful within a Historic District. He said he would speak with Council regarding this.

Ms. Hayward-Olivas stated that HAC is limited in what we can do. She added that each Chapter of the Design Guidelines & Standards is designed to stand alone for specific areas, which makes it a bit less intimidating. She also noted that the Guidelines include reference to the State Historic Preservation Tax Credit Program and Preservation Delaware that has on its website a list of resources and grants programs. Ms. Hayward-Olivas also said that applicants are encouraged to seek out these recourses during the HAC review process.

Post-Review Guidance Discussion

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Mr. Hoffman stated that a Guidance document can be useful, as with signage; but you need to be careful and ensure that everything is consistent and that they remain consistent.

Mr. Hoffman stated that HAC reviews applications and applies the Guidelines; and once you make your decision it goes to Code Enforcement to follow-up and enforce that decision. He cautioned that when giving guidance it is done within the purview of HAC.

Mr. Lorenz stated that he created a draft document that applicants could take with them at the end of the process so they would have a clear understanding next steps, regardless of whether their application was approved or not, or if it was approved with conditions. The document he drafted is designed to be a summary of next steps.

Mr. Hoffman opined that it may be as simple as adopting a process of issuing a written summary of what happened.

Ms. Hayward-Olivas noted that the Historic Area Commission Review Application says “I must still obtain an approved Historic Review Certificate before project work can begin.” (*Item #8. Agreement*)

Mr. Hoffman recommended that he and his colleague would review the document and report back to HAC next month.

*Public Comment*  
David Baldini

Mr. Baldini asked that the first paragraph of the Guidelines be reviewed, because it still references sections of the Code that have been changed.

There being no further business to discuss, Ms. Hayward-Olivas called for a motion to adjourn.

**A motion was made by Mr. Westman to adjourn the meeting. The motion was seconded by Mr. Lorenz. The motion was unanimously passed and the meeting adjourned at 8:00 p.m.**

Respectfully submitted,

Kathleen R. Weirich  
City Stenographer



**HISTORIC AREA COMMISSION REVIEW APPLICATION**

**CONSULTATION**       **HISTORIC REVIEW CERTIFICATE**

Fee	Paid On
\$50.00	5/22/2021

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date

1. NAME OF APPLICANT Joseph Mason  
 Business (if applicable) \_\_\_\_\_  
 Address 25 E. 4th Street  
 City New Castle State DE Zip Code 19720  
 Daytime telephone 302-332-2016 Other phone/email Joeymason54@gmail.com

*The above contact information will be used for correspondence. Please ensure this information is accurate.*

2. NAME OF PROPERTY OWNER Joseph Mason  
 Business (if applicable) \_\_\_\_\_  
 Address 25 E. 4th Street  
 City New Castle State DE Zip Code 19702  
 Daytime telephone (required) 302-332-2016 Other phone \_\_\_\_\_

3. PROJECT STREET ADDRESS 25 E. 4th Street

4. LEGAL DESCRIPTION: Lot  Block  Subdivision \_\_\_\_\_ Parcel \_\_\_\_\_

5. EXISTING USE Single Family Residential PROPOSED USE Single Family Residential

6. PROPOSED PROJECT WORK

A. DEMOLITION       YES       NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

REPAIR	REPLACE	
<input type="checkbox"/>	<input type="checkbox"/>	Roof _____
<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior finishes (stucco, masonry, siding) <u>1/2X6 Clear Beveled Cedar Siding</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Porch/Deck/Balcony <u>1x4 Porch Floor Mahogany, 6X6 Post Cedar, Cedar</u>
<input type="checkbox"/>	<input type="checkbox"/>	Awning/Canopy _____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior Doors _____
<input type="checkbox"/>	<input type="checkbox"/>	Windows _____
<input type="checkbox"/>	<input type="checkbox"/>	Shutters _____
<input type="checkbox"/>	<input type="checkbox"/>	Foundation (including infill) _____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior lighting & other appurtenances _____
<input type="checkbox"/>	<input type="checkbox"/>	Existing fences, walls & gates _____
<input type="checkbox"/>	<input type="checkbox"/>	Existing parking, walkways & other site features _____

C. NEW CONSTRUCTION (check and specify all work items that apply)

- New building \_\_\_\_\_
- New addition \_\_\_\_\_
- New roof structures (dormers, chimneys, etc.) \_\_\_\_\_
- New porch/deck/balcony \_\_\_\_\_
- New awning/canopy \_\_\_\_\_
- New entrances \_\_\_\_\_
- New window opening/sashes \_\_\_\_\_
- New exterior lighting \_\_\_\_\_
- New fence/wall/gate \_\_\_\_\_
- New parking/walkways/other site features \_\_\_\_\_
- Exterior utility service/mechanical equipment \_\_\_\_\_

D. STREETSCAPE (check and specify all work items that apply)

- Streetlights
- Furniture & equipment (benches, bollards, utilities equipment, charging stations, etc)
- Curbs and sidewalks

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

Proposed work includes removal and replacement of existing porch materials while maintaining the overall historic character of the home. Existing 1x4 porch flooring will be replaced with new 1x4 mahogany porch flooring and finished with a clear coat to highlight the natural mahogany appearance. Existing rusted handrail will be replaced with a cedar handrail similar in style and appearance to the neighboring property at #27. The new handrail is proposed to either be stained or painted white. Existing porch posts will be replaced with new 6x6 cedar posts and finished with either stain or paint. Existing aluminum siding on the front façade will be removed and replaced with 1/2x6 clear beveled cedar siding. Proposed cedar siding finish will be stained, and color samples have been included with the application. Existing second-floor shutters will also be replaced with new two-panel raised wood shutters to be either stained or painted. Existing porch roof shingles will be replaced with Pinnacle® "Copper Canyon" architectural shingles, with sample included as part of the application package. Replacement of shingles is limited to the porch roof area only. Existing lattice beneath the porch will also be removed and replaced with new cedar lattice, to be painted, along with replacement of existing fascia trim to match the updated porch improvements.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties.

*I have examined this application, its requirements and to my knowledge and belief, is a true, correct, and complete application. In filling out this application, I understand that it becomes part of the Public Record of the City of New Castle and hereby certify that all information contained herein is accurate to the best of my knowledge.*

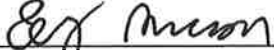
*I further understand that if this application is for a Consultation, preapplication consultations resulting in a recommendation for conceptual approval by HAC are advisory in nature and shall inure no rights in the applicant. No project work may be taken based solely upon a recommendation following consultation with HAC. I must still obtain an approved Historic Review Certificate before project work can begin.*

*I also understand that further development approvals, reviews, and a building permit may also be required prior to starting project work and will consult with the City Building Official for specific project requirements.*

PRINT APPLICANT'S NAME \_\_\_\_\_

SIGNATURE OF APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

PRINT OWNER'S NAME Joseph Mason

SIGNATURE OF OWNER Joseph Mason  DATE 5/22/26

## **APPLICANT COMPLETENESS REVIEW CHECKLIST & ACKNOWLEDGMENT**

All work performed in a Historic District, Residence or Commercial, requires prior approval of the Historic Area Commission (HAC) and the issuance of a Historic Review Certificate pursuant to Section 230-45 of the Zoning Code.

Applicants for work to be done in Historic Zoning Districts must submit applications to the Historic Area Commission and obtain the required certificate in addition to obtaining a building permit.

All proposed work items shall be reviewed for consistency and compliance with the most recent edition of the "City of New Castle Historic Area Commission Guidelines and Standards" and its Supplements. Copies of this document are available the website at <https://newcastlecity.delaware.gov/historic-area-commission/>

Relevant information necessary for the issuance of a HAC Review Certificate include, but are not be limited to, the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Historic Area Commission Guidelines and Standards*. The minimum application requirements for each scope of work are indicated below. Discuss the project with City Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal for inclusion on the agenda of the HAC meeting.

**Complete applications must be submitted up to 15 days before the meeting to be included on the agenda.**

JM

### **INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS**

**\*The below is a list of requirements based upon the scope of work. To be completed by planning staff\***

#### **ROOFS AND ROOFING** (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)

- | OK                       | Need                     | N/A                      |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing roof and affected features  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only)                               |

#### **EXTERIOR FINISHES** (wood siding and decorative features, masonry surfaces and features, stucco)

- | OK                       | Need                     | N/A                      |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing surface or feature including close-up and full building perspective   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the siding, finish, or feature and the extent of the affected area  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture |

#### **PORCHES, DECKS, BALCONIES** (including loggias/colonnades, porch enclosures, associated decorative features)

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

#### **AWNING/CANOPY**

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing awning/canopy or location of proposed awning/canopy  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the facade |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details             |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing awning/canopy and the extent of the affected area   |

#### **EXTERIOR DOORS** (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing door(s) or location of proposed new door opening(s)  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new openings, a scaled wall section  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware                        |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing door(s) and the extent of the affected area.  |

\*The below is a list of requirements based upon the scope of work. (To be completed by planning staff)\*

**WINDOWS** (windows, shutters, and other associated features)

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) For new openings, a   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | scaled wall section with proposed window   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

**FOUNDATION** (replacement, infill, alteration including elevation)

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

**EXTERIOR ELECTRICAL/MECHANICAL** (light fixtures, vents, utilities, HVAC units, pool systems, vending)

- | OK                       | Need                     | N/A                      |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity, hardware, colors/finish   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building          |

**FENCES/WALLS/GATES**

- |                          |                          |                          |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area of proposed fence/wall/gate and detail photo of any existing fence/wall/gate   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section   |

**PARKING, LANDSCAPE OR OTHER SITE FEATURE** (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing   |

**NEW CONSTRUCTION** (accessory structure/outbuilding, garage, and other new buildings)

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area                      |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing property line and existing site features like buildings, sidewalks, driveways        |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features                                |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features                                |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wall sections   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code        |

Tier 01 Review	Tier 2 Review
<input type="checkbox"/>	<input type="checkbox"/>

**PRINT**

Project Address: \_\_\_\_\_

Reviewed for completion by: \_\_\_\_\_ Date: \_\_\_\_\_

## **25 E. 4TH STREET, NEW CASTLE DE**

The existing front porch is deteriorated and experiencing rot and general weather-related deterioration. The existing porch flooring is in poor condition, with areas of rotting and failing wood due to age and prolonged exposure to the elements. Proposed work includes removal and replacement of existing porch materials while maintaining the overall historic character and appearance of the home and surrounding historic district. The existing porch framing and overall porch configuration will remain unchanged. Existing 1x4 porch flooring will be replaced with new 1x4 mahogany porch flooring. While the replacement flooring will be a different species of wood than the existing material, it will maintain the same traditional porch flooring profile, dimensions, and historic appearance. The new mahogany flooring will be finished with a clear coat to highlight and preserve the natural appearance of the wood.

Existing rusted metal handrail at the front porch will be removed and replaced with a new cedar handrail. The proposed railing design is intended to be historically compatible with neighboring homes within the district and will closely match the style and appearance of the existing railing located at neighboring property #27 E. 4th Street, as well as the railing located at The Strand. The new handrail is proposed to either be stained or painted white. Existing porch posts will also be replaced with new 6x6 cedar posts due to age and deterioration and will be finished with either stain or paint to complement the overall restoration work.

Existing aluminum siding on the front façade has begun to show age-related deterioration and minor rusting in areas and does not fit the historic architectural character of the surrounding neighborhood and historic district. The existing aluminum siding will therefore be removed and replaced with new 1/2x6 clear beveled cedar siding more appropriate to the historic appearance of the home and surrounding properties. Proposed cedar siding finish will be stained, and color samples have been included with the application materials for review.

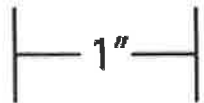
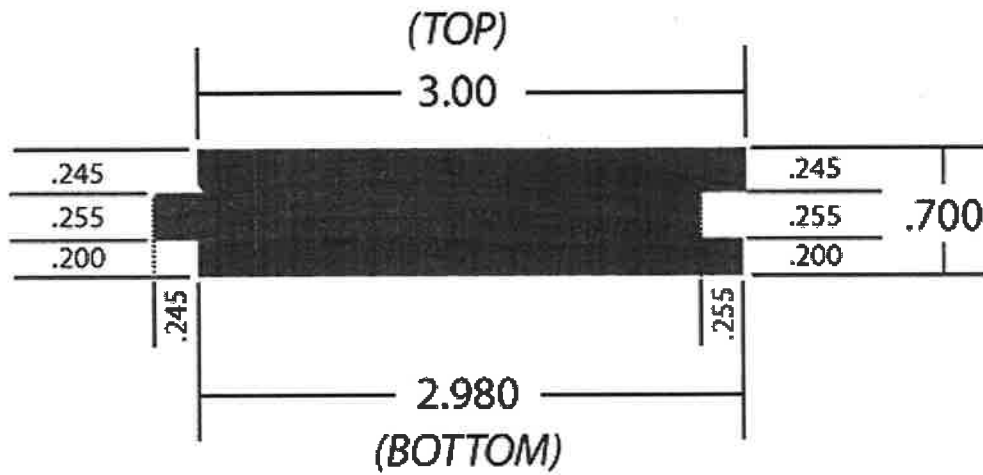
Existing porch roof shingles are also showing signs of age and deterioration and are no longer in the best condition. Existing shingles at the porch roof only will be removed and replaced with new Pinnacle® “Copper Canyon” architectural shingles. The replacement shingles are the same general roofing product type currently existing, with the proposed change being primarily the updated color selection. A material sample has been included with the application package for review.

Existing lattice beneath the porch will also be removed and replaced with a new cedar lattice to better match the historic appearance of the structure. The new lattice is proposed to be painted. Existing fascia trim at the porch will also be replaced as needed to match the new improvements and maintain the historic character of the home.

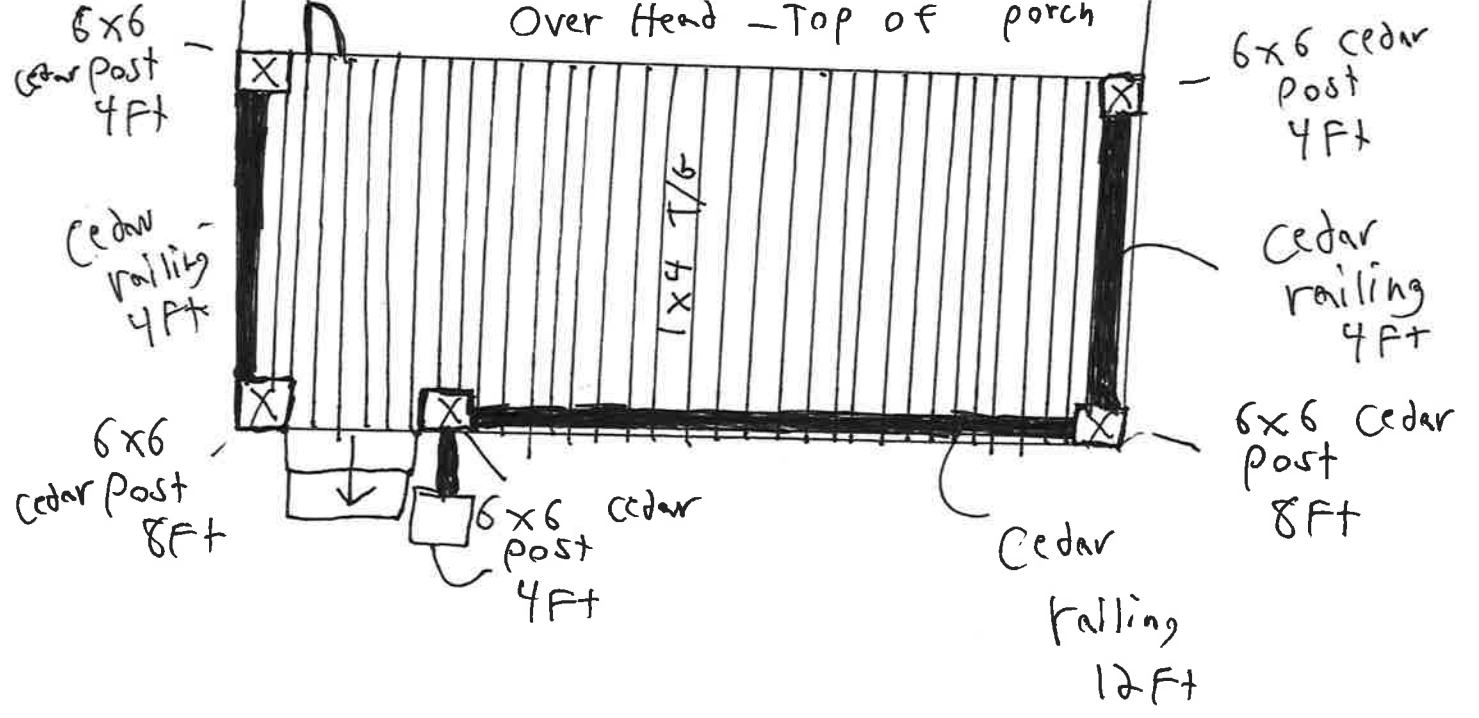
Existing second-floor shutters will be replaced with new two-panel raised wood shutters to better complement the historic architecture of the property and surrounding district. Proposed shutters will be painted.



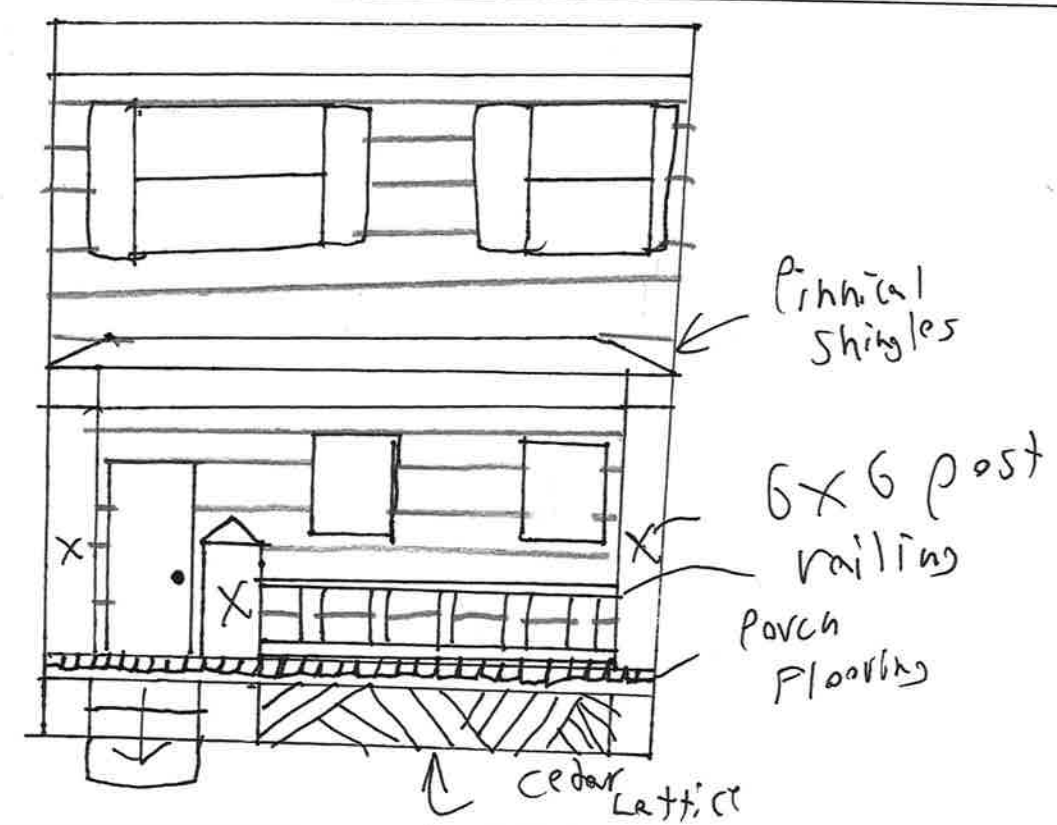
# 1 x 4 (tongue & groove)



*measurements in inches*



- List
- 6x6 post cedar
  - Cedar Handrail
  - 1/2x6 Bevel cedar Siding
  - Pinical "Copper Canyon"



- To-Do
- replace porch flooring
  - replace porch railing
  - replace Front siding
  - replace porch roof shingles
  - replace Lattice



**PERMIT#**  
**APPLICATION FOR**  
**PLAN EXAMINATION AND**  
**BUILDING PERMIT**  
**REQUEST FOR HISTORIC**  
**REVIEW CERTIFICATE**

NO.

STREET

**IMPORTANT — Applicant to complete all items in sections: I, II, III IV, and V.**

**I. LOCATION OF BUILDING**

AT (LOCATION) 25 E. 4th Street, New Castle, Delaware 19720 Zoning District 21hr

(NO.) (STREET)

BETWEEN Delaware Street AND Harmony Street

(CROSS STREET) (CROSS STREET)

SUBDIVISION Old New Castle LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ LOT SIZE \_\_\_\_\_

**II. TYPE AND COST OF BUILDING — All applicants complete Parts A — D**

**A. TYPE OF IMPROVEMENT**

1  New building

2  Addition (If residential, enter number of new housing units added, if any, in Part D, 13)

3  Alteration (See 2 above)

4  Repair, replacement (Explain in Sec. IV)

5  Wrecking (If multifamily residential, enter number of units in building in Part D, 13)

6  Moving (relocation)

7  Foundation only

8  Fence, sign

**B. OWNERSHIP**

9a  Private (individual, corporation, nonprofit institution, etc.)

9b  Public (Federal, State, or local government)

**D. PROPOSED USE — For "Wrecking" most recent use**

**Residential**

12  One family

13  Two or more family — Enter number of units \_\_\_\_\_

14  Transient hotel, motel, or dormitory — Enter number of units \_\_\_\_\_

15  Garage

16  Carport

17  Other — Specify \_\_\_\_\_

**Nonresidential**

18  Amusement, recreational

19  Church, other religious

20  Industrial

21  Parking garage

22  Service station, repair garage

23  Hospital, institutional

24  Office, bank, professional

25  Other — Specify \_\_\_\_\_

**C. COST**

10 Cost of improvement . . . . . \$ 25,000

To be installed but not included in the above cost

a. Electrical . . . . . \_\_\_\_\_

b. Plumbing . . . . . \_\_\_\_\_

c. Heating, air conditioning . . . . . \_\_\_\_\_

d. Other (elevator, etc.) . . . . . \_\_\_\_\_

11 TOTAL COST OF IMPROVEMENT \$ 25,000

(Omit cents)

Nonresidential — Describe in detail proposed use of buildings, e.g., food processing plant, machine shop, laundry building at hospital, elementary school, secondary school, college, parochial school, parking garage for department store, rental office building, office building at industrial plant. If use of existing building is being changed, enter proposed use.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**III. SELECTED CHARACTERISTICS OF BUILDING — For new buildings and additions, complete Parts E — J; for wrecking, complete only Part H; for signs complete Part K.**

**E. PRINCIPAL TYPE OF FRAMING**

30  Masonry (wall bearing)

31  Wood frame

32  Structural steel

33  Reinforced concrete

34  Other — Specify \_\_\_\_\_

**F. PRINCIPAL TYPE OF HEATING FUEL**

35  Gas

36  Oil

37  Electricity

38  Coal

39  Other — Specify \_\_\_\_\_

**G. TYPE OF MECHANICAL**

Will there be central air conditioning?

40  Yes 41  No

Will there be an elevator?

42  Yes 43  No

**H. DIMENSIONS**

44. Number of stories . . . . . \_\_\_\_\_

45. Total square feet of floor area, all floors, based on exterior dimensions \_\_\_\_\_

46. Total land area, sq. ft. . . . . \_\_\_\_\_

**I. NUMBER OF OFF-STREET PARKING SPACES**

47. Enclosed . . . . . \_\_\_\_\_

48. Outdoors . . . . . \_\_\_\_\_

**J. RESIDENTIAL BUILDINGS ONLY**

49. Number of bedrooms . . . . . \_\_\_\_\_

50. Number of bathrooms Full . . . . . \_\_\_\_\_ Partial . . . . . \_\_\_\_\_

**NOTE!**

The Building Inspector requires dimensioned plot plans, floor plans, specifications, etc. before a permit will be issued for all structural changes, additions, etc.

**K. DESCRIPTION OF SIGN**

51. Type of Sign \_\_\_\_\_

52. Dimensions of sign. Length \_\_\_\_\_ Width \_\_\_\_\_ Thickness \_\_\_\_\_ Area \_\_\_\_\_

53. Projection beyond building line \_\_\_\_\_ Clear height above sidewalk \_\_\_\_\_

54. If roof sign, give distance back from the edge of roof \_\_\_\_\_

55. Material constructed of \_\_\_\_\_ Weight \_\_\_\_\_

56. Remarks: (State clearly method of operation and attachment, giving size of bolts, chains, anchors, etc.)  
 \_\_\_\_\_  
 \_\_\_\_\_

**IV. DESCRIPTION OF PROPOSED WORK — For Applicant Use — Attach two copies of Plans and Specifications**

Proposed work includes removal and replacement of existing porch materials while maintaining the overall historic character of the home. Existing 1x4 porch flooring will be replaced with new 1x4 mahogany porch flooring and finished with a clear coat to highlight the natural mahogany appearance. Existing rusted handrail will be replaced with a cedar handrail similar in style and appearance to the neighboring property at #27. The new handrail is proposed to either be stained or painted white. Existing porch posts will be replaced with new 6x6 cedar posts and finished with either stain or paint. Existing aluminum siding on the front façade will be removed and replaced with 1/2x6 clear beveled cedar siding. Proposed cedar siding finish will be stained, and color samples have been included with the application. Existing second-floor shutters will also be replaced with new two-panel raised wood shutters to be either stained or painted. Existing porch roof shingles will be replaced with Pinnacle® “Copper Canyon” architectural shingles, with sample included as part of the application package. Replacement of shingles is limited to the porch roof area only. Existing lattice beneath the porch will also be removed and replaced with new cedar lattice, to be painted, along with replacement of existing fascia trim to match the updated porch improvements.

All work done by homeowner

**SPECIAL NOTE FOR HISTORIC REVIEW CERTIFICATE APPLICATION**

Describe in detail the nature and scope of all proposed work. Supplemental plans and/or drawing showing all pertinent architectural features and materials to be used are required when any architectural additions or alterations are involved.

**V. IDENTIFICATION — To be completed by all applicants**

Name		Mailing Address — Number, Street, City, and State	ZIP Code	Tel. No.
1. Owner or Lessee	Joseph Mason	25 E. 4th Street, Newcastle, Delaware	19720	302 332-2016
2. Contractor	Homewowner		Builder's License No.	
3. Architect or Engineer				

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

Signature of Applicant <i>Joseph Mason</i>	Please Print Name Joseph Mason	Address 25 E. 4th Street, Newcastle, DE, 19720	Application Date 5/22/26
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**VI. ZONING PLAN EXAMINERS OR BOARD OF ADJUSTMENT NOTES**

DISTRICT \_\_\_\_\_

USE \_\_\_\_\_

FRONT YARD \_\_\_\_\_

SIDE YARD \_\_\_\_\_

SIDE YARD \_\_\_\_\_

REAR YARD \_\_\_\_\_

NOTES \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**VII. HISTORIC AREA COMMISSION**

DATE RECEIVED \_\_\_\_\_

HISTORIC AREA REVIEW FEE \_\_\_\_\_

DATE OF INITIAL ACTION BY COMMISSION \_\_\_\_\_

CERTIFICATE ISSUED # \_\_\_\_\_

ACTION AND/OR  
RECOMMENDATION \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

COMMISSION VOTE \_\_\_\_\_

APPROVED DENIED TABLED

_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

AUTHORIZED SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

**VIII. VALIDATION**

Building Permit Number \_\_\_\_\_

Building Permit Issued \_\_\_\_\_

Building Permit Fee \$ \_\_\_\_\_

Renewal Fee \$ \_\_\_\_\_

Certificate of Occupancy \$ \_\_\_\_\_

MSC Approval \_\_\_\_\_  
Date

Approved By: \_\_\_\_\_

**FOR DEPARTMENT USE ONLY**

Use Group \_\_\_\_\_

Fire Grading \_\_\_\_\_

Live Loading \_\_\_\_\_

Occupancy Load \_\_\_\_\_

**IX. OFFICIAL USE ONLY**







**HISTORIC AREA COMMISSION REVIEW APPLICATION**

**CONSULTATION**

**HISTORIC REVIEW CERTIFICATE**

Fee	Paid On
\$50.00	

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date

1. NAME OF APPLICANT Jason Einstein  
 Business (if applicable) Einstein's Designs  
 Address 114 W 5th Street  
 City New Castle State DE Zip Code 19720  
 Daytime telephone 302-743-1999 Other phone/email Einsteinsdesigns@gmail.com

*The above contact information will be used for correspondence. Please ensure this information is accurate.*

2. NAME OF PROPERTY OWNER Diane C. Bristow  
 Business (if applicable) \_\_\_\_\_  
 Address 46 East Third Street  
 City New Castle State DE Zip Code 19720  
 Daytime telephone (required) 410-332-8586 Other phone 443-799-6997

3. PROJECT STREET ADDRESS 46 East 3rd Street

4. LEGAL DESCRIPTION: Lot  Block  Subdivision 46 E Third St Parcel \_\_\_\_\_

5. EXISTING USE Yard PROPOSED USE Shed added to Back Yard

6. PROPOSED PROJECT WORK

A. DEMOLITION

YES

NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

REPAIR

REPLACE

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Roof _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof structures (dormers, chimneys, etc.) _____        |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior finishes (stucco, masonry, siding) _____      |
| <input type="checkbox"/> | <input type="checkbox"/> | Porch/Deck/Balcony _____                               |
| <input type="checkbox"/> | <input type="checkbox"/> | Awning/Canopy _____                                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior Doors _____                                   |
| <input type="checkbox"/> | <input type="checkbox"/> | Windows _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Shutters _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Foundation (including infill) _____                    |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting & other appurtenances _____          |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing fences, walls & gates _____                   |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing parking, walkways & other site features _____ |

C. NEW CONSTRUCTION (check and specify all work items that apply)

- New building shed
- New addition \_\_\_\_\_
- New roof structures (dormers, chimneys, etc.) \_\_\_\_\_
- New porch/deck/balcony \_\_\_\_\_
- New awning/canopy \_\_\_\_\_
- New entrances \_\_\_\_\_
- New window opening/sashes \_\_\_\_\_
- New exterior lighting \_\_\_\_\_
- New fence/wall/gate \_\_\_\_\_
- New parking/walkways/other site features \_\_\_\_\_
- Exterior utility service/mechanical equipment \_\_\_\_\_

D. STREETSCAPE (check and specify all work items that apply)

- Streetlights
- Furniture & equipment (benches, bollards, utilities equipment, charging stations, etc)
- Curbs and sidewalks

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

Construct new wood shed 12 ft Deep x 16 ft Wide x Maximum Peak Height 10 ft 6" with wood walls and t&g plywood wood subfloor with t&g pine planks, and double wood doors. Two historic windows that are not operational. Exterior walls covered in wood dutch lap to match existing historic kitchen/sunroom exterior walls. Roof covered with Brava Victorian Composite Slate Roof Tile. See diagram of shed, attached hereto as Exhibit 1. See proposed location on plot survey at Exhibit 2. See photo of proposed location at Exhibit 3.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties.

*I have examined this application, its requirements and to my knowledge and belief, is a true, correct, and complete application. In filling out this application, I understand that it becomes part of the Public Record of the City of New Castle and hereby certify that all information contained herein is accurate to the best of my knowledge.*

*I further understand that if this application is for a Consultation, preapplication consultations resulting in a recommendation for conceptual approval by HAC are advisory in nature and shall inure no rights in the applicant. No project work may be taken based solely upon a recommendation following consultation with HAC. I must still obtain an approved Historic Review Certificate before project work can begin.*

*I also understand that further development approvals, reviews, and a building permit may also be required prior to starting project work and will consult with the City Building Official for specific project requirements.*

PRINT APPLICANT'S NAME Jason Einstein

SIGNATURE OF APPLICANT  DATE 5-15-26

PRINT OWNER'S NAME Diane C Bristow

SIGNATURE OF OWNER  DATE 5-15-26

## APPLICANT COMPLETENESS REVIEW CHECKLIST & ACKNOWLEDGMENT

All work performed in a Historic District, Residence or Commercial, requires prior approval of the Historic Area Commission (HAC) and the issuance of a Historic Review Certificate pursuant to Section 230-45 of the Zoning Code.

Applicants for work to be done in Historic Zoning Districts must submit applications to the Historic Area Commission and obtain the required certificate in addition to obtaining a building permit.

All proposed work items shall be reviewed for consistency and compliance with the most recent edition of the "City of New Castle Historic Area Commission Guidelines and Standards" and its Supplements. Copies of this document are available the website at <https://newcastlecity.delaware.gov/historic-area-commission/>

Relevant information necessary for the issuance of a HAC Review Certificate include, but are not be limited to, the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Historic Area Commission Guidelines and Standards*. The minimum application requirements for each scope of work are indicated below. Discuss the project with City Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal for inclusion on the agenda of the HAC meeting.

Complete applications must be submitted up to 15 days before the meeting to be included on the agenda.

*adp*

### **INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS**

\*The below is a list of requirements based upon the scope of work. To be completed by planning staff\*

ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing roof and affected features
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only)
EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing surface or feature including close-up and full building perspective
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the siding, finish, or feature and the extent of the affected area
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture
PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
AWNING/CANOPY		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing awning/canopy or location of proposed awning/canopy
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the facade
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the existing awning/canopy and the extent of the affected area
EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing door(s) or location of proposed new door opening(s)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> For new openings, a scaled wall section
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the existing door(s) and the extent of the affected area.

\*The below is a list of requirements based upon the scope of work. (To be completed by planning staff)\*

**WINDOWS** (windows, shutters, and other associated features)

- |                          |                          |                          |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) For new openings, a scaled wall section with proposed window  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

**FOUNDATION** (replacement, infill, alteration including elevation)

- |                          |                          |                          |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

**EXTERIOR ELECTRICAL/MECHANICAL** (light fixtures, vents, utilities, HVAC units, pool systems, vending)

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity, hardware, colors/finish   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building          |

**FENCES/WALLS/GATES**

- |                          |                          |                          |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area of proposed fence/wall/gate and detail photo of any existing fence/wall/gate   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section   |

**PARKING, LANDSCAPE OR OTHER SITE FEATURE** (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing   |

**NEW CONSTRUCTION** (accessory structure/outbuilding, garage, and other new buildings)

- |                                     |                          |                          |   |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area                      |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing property line and existing site features like buildings, sidewalks, driveways        |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features                                |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features                                |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wall sections   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape     |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code        |

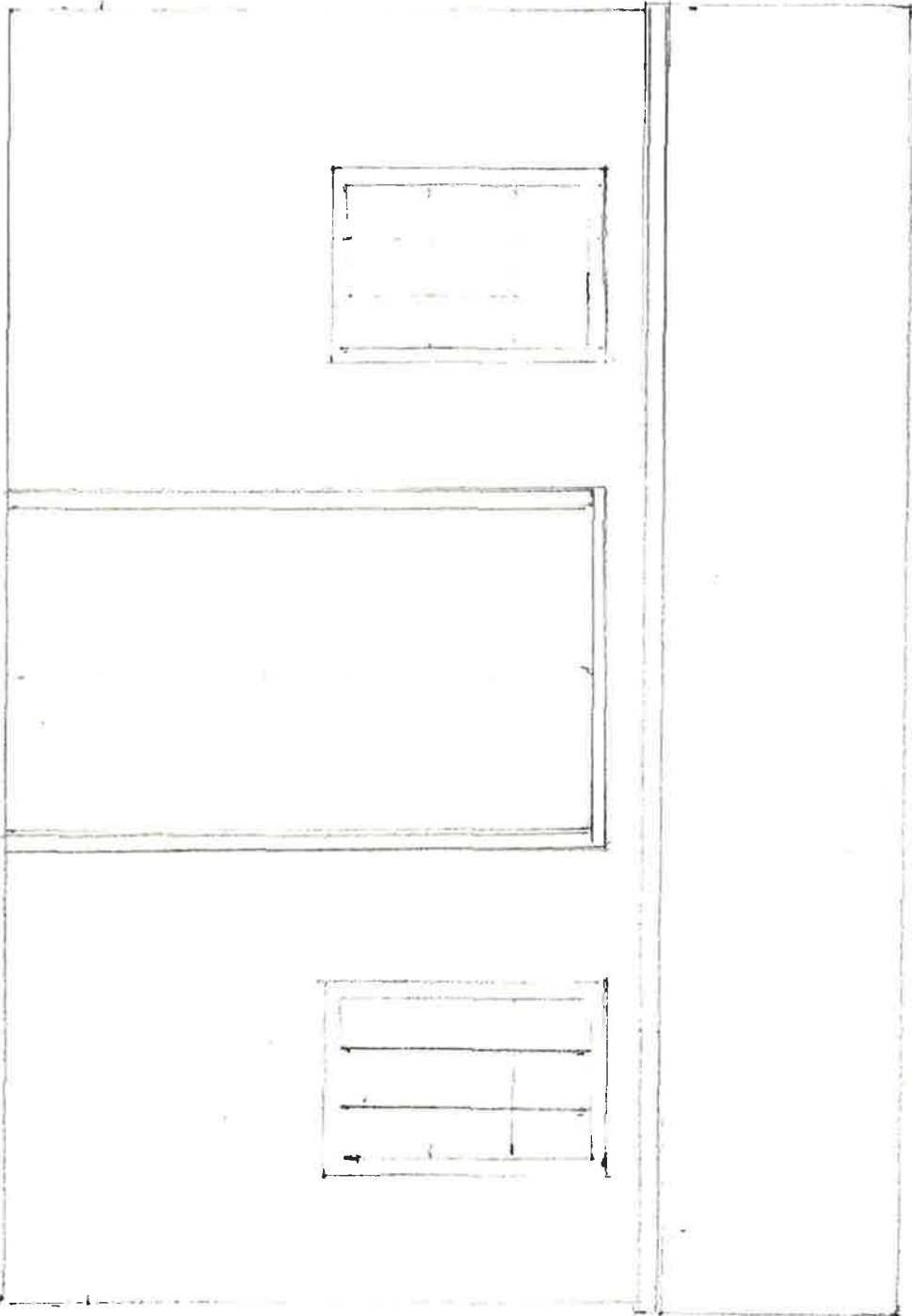
Tier 01 Review	Tier 2 Review
<input type="checkbox"/>	<input type="checkbox"/>

**PRINT**

Project Address: 46 East Third Street, New Castle, DE 19720

Reviewed for completion by: \_\_\_\_\_ Date: \_\_\_\_\_

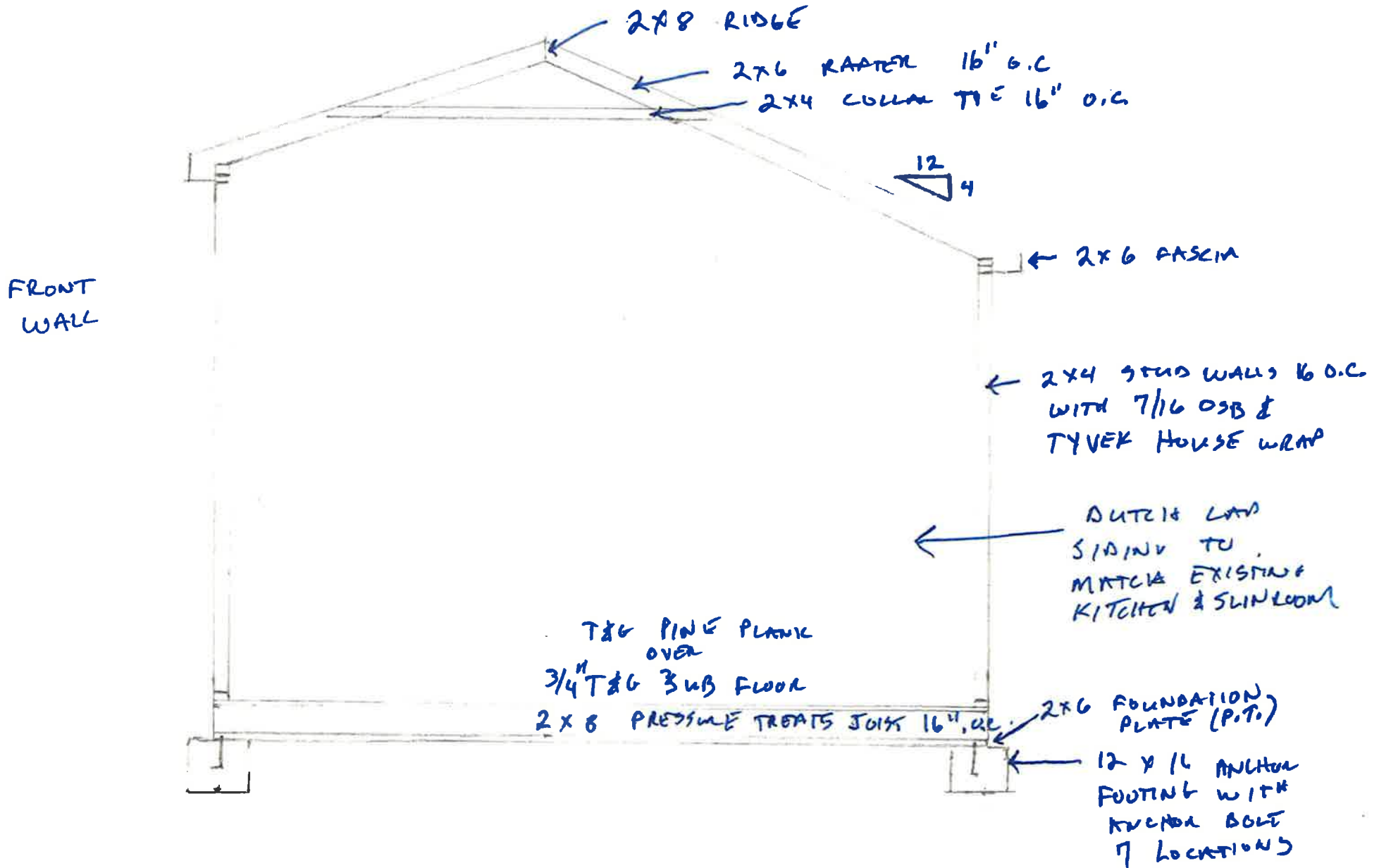
EXHIBIT 1 DIAGRAM OF SHED



FRONT VIEW

DIANE BRISTOW  
46 E. THIRD ST.  
NEW CASTLE

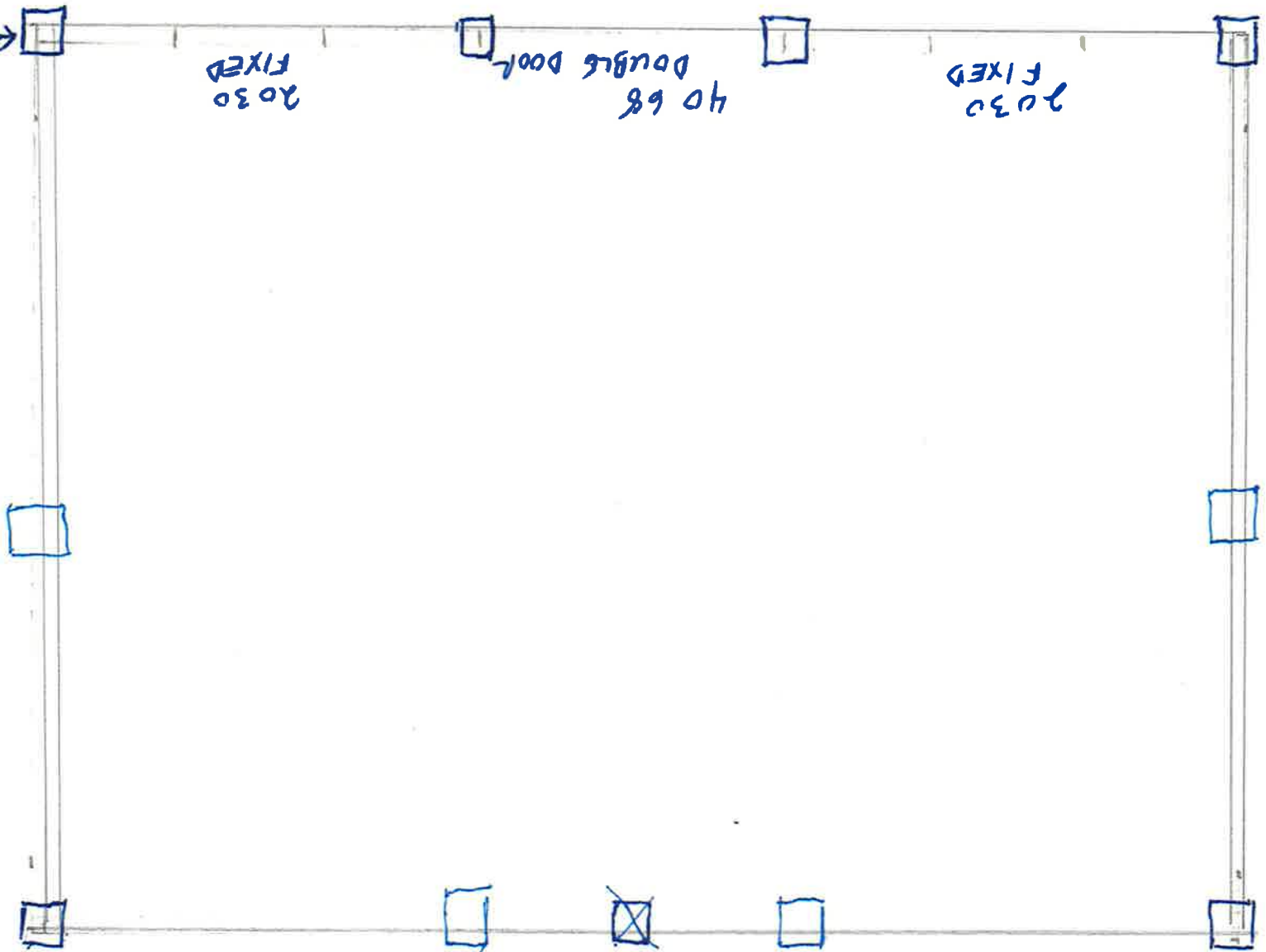
### CROSS SECTION



ALINE BRISWAL  
46 E. THIRD ST  
NEW CASTLE

FLOOR PLAN &  
FOOTING/ANCHOR PLAN

ANCHOR  
FOOTING  
WITH ANCHOR  
BOLT  
12x16

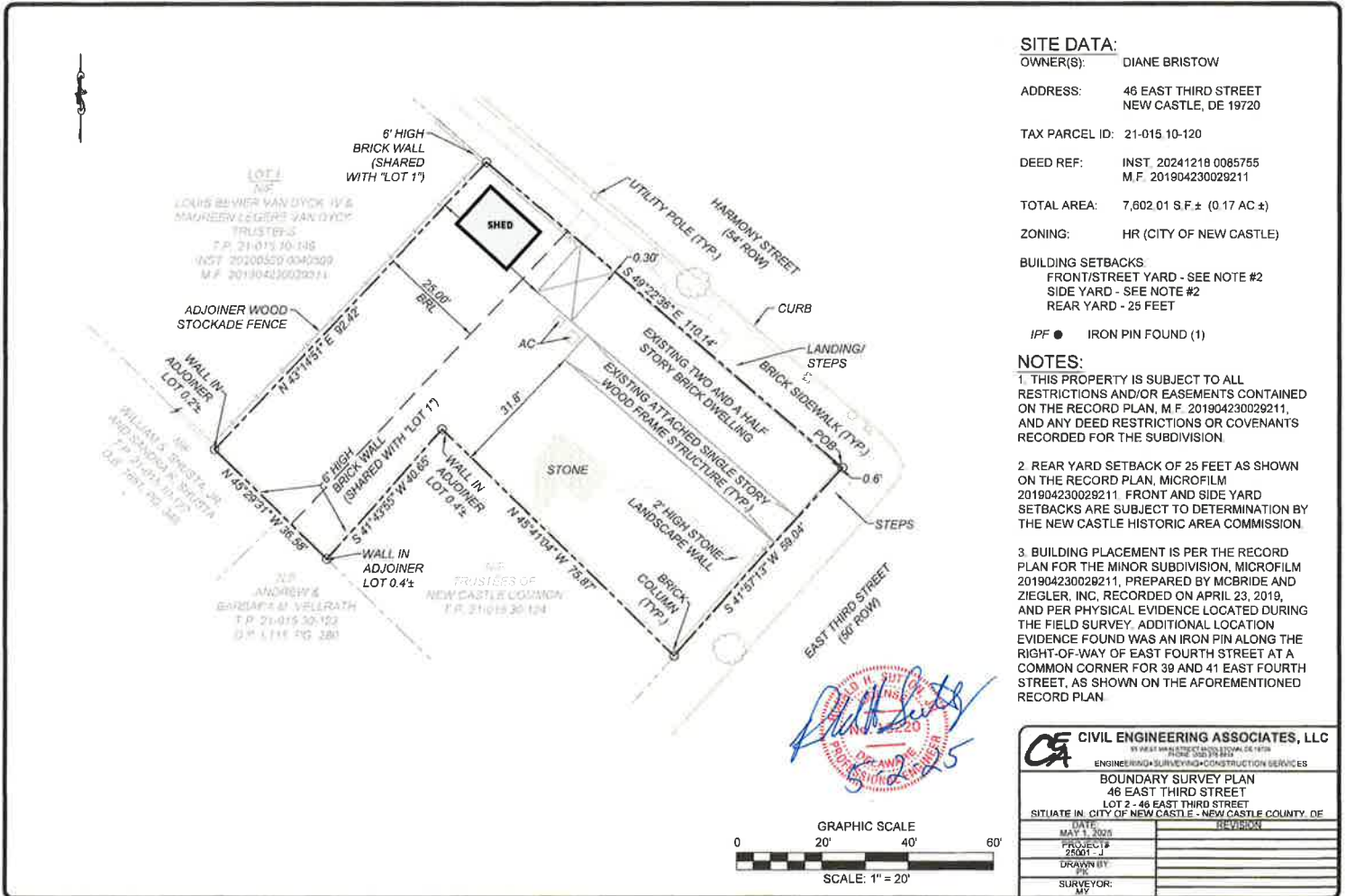


2030  
FIXED

40 68  
DOUBLE DOOR

2030  
FIXED

# EXHIBIT 2: LOCATION ON PLOT



**SITE DATA:**  
 OWNER(S): DIANE BRISTOW  
 ADDRESS: 46 EAST THIRD STREET  
 NEW CASTLE, DE 19720  
 TAX PARCEL ID: 21-015 10-120  
 DEED REF: INST. 20241218 0085755  
 M.F. 201904230029211  
 TOTAL AREA: 7,602.01 S.F. ± (0.17 AC ±)  
 ZONING: HR (CITY OF NEW CASTLE)  
 BUILDING SETBACKS:  
 FRONT/STREET YARD - SEE NOTE #2  
 SIDE YARD - SEE NOTE #2  
 REAR YARD - 25 FEET

- NOTES:**
- THIS PROPERTY IS SUBJECT TO ALL RESTRICTIONS AND/OR EASEMENTS CONTAINED ON THE RECORD PLAN, M.F. 201904230029211, AND ANY DEED RESTRICTIONS OR COVENANTS RECORDED FOR THE SUBDIVISION.
  - REAR YARD SETBACK OF 25 FEET AS SHOWN ON THE RECORD PLAN, MICROFILM 201904230029211. FRONT AND SIDE YARD SETBACKS ARE SUBJECT TO DETERMINATION BY THE NEW CASTLE HISTORIC AREA COMMISSION.
  - BUILDING PLACEMENT IS PER THE RECORD PLAN FOR THE MINOR SUBDIVISION, MICROFILM 201904230029211, PREPARED BY MCBRIDE AND ZIEGLER, INC. RECORDED ON APRIL 23, 2019, AND PER PHYSICAL EVIDENCE LOCATED DURING THE FIELD SURVEY. ADDITIONAL LOCATION EVIDENCE FOUND WAS AN IRON PIN ALONG THE RIGHT-OF-WAY OF EAST FOURTH STREET AT A COMMON CORNER FOR 39 AND 41 EAST FOURTH STREET, AS SHOWN ON THE AFOREMENTIONED RECORD PLAN.

**CIVIL ENGINEERING ASSOCIATES, LLC**  
 814 WEST WALTON STREET, SUITE 100, NEW CASTLE, DE 19720  
 ENGINEERING • SURVEYING • CONSTRUCTION SERVICES

**BOUNDARY SURVEY PLAN**  
 46 EAST THIRD STREET  
 LOT 2-46 EAST THIRD STREET  
 SITUATE IN CITY OF NEW CASTLE - NEW CASTLE COUNTY, DE

DATE:	MAY 1, 2025	REVISION:	
PROJECT:	2025 - J		
DRAWN BY:	PL		
SURVEYOR:	MY		

### EXHIBIT 3

Location of Placement of Shed – Brick walkway will not be disturbed.



→ Original Kitchen



**HISTORIC AREA COMMISSION REVIEW APPLICATION**

**CONSULTATION**

**HISTORIC REVIEW CERTIFICATE**

Fee	Paid On
\$50.00	5/2/20

CITY OF NEW CASTLE

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date

1. NAME OF APPLICANT James A Coty  
 Business (if applicable) n/a  
 Address 140 E 3rd Str  
 City New Castle State DE Zip Code 19720  
 Daytime telephone 434-227-7907 Other phone/email \_\_\_\_\_

*The above contact information will be used for correspondence. Please ensure this information is accurate.*

2. NAME OF PROPERTY OWNER James A Coty  
 Business (if applicable) \_\_\_\_\_  
 Address 140 E 3rd Str  
 City New Castle State DE Zip Code 19720  
 Daytime telephone (required) 434-227-7907 Other phone \_\_\_\_\_

3. PROJECT STREET ADDRESS 140 E 3rd Str

4. LEGAL DESCRIPTION: Lot  Block  Subdivision \_\_\_\_\_ Parcel \_\_\_\_\_

5. EXISTING USE Residential PROPOSED USE Residential

6. PROPOSED PROJECT WORK

A. DEMOLITION

YES

NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

REPAIR      REPLACE

- Roof repair roof
- Roof structures (dormers, chimneys, etc.) repoint chimney (maintain as needed)
- Exterior finishes (stucco, masonry, siding) repoint brick (maintain as needed)
- Porch/Deck/Balcony \_\_\_\_\_
- Awning/Canopy \_\_\_\_\_
- Exterior Doors replace front door
- Windows \_\_\_\_\_
- Shutters \_\_\_\_\_
- Foundation (including infill) \_\_\_\_\_
- Exterior lighting & other appurtenances \_\_\_\_\_
- Existing fences, walls & gates repair/replace fence facing 4th Str
- Existing parking, walkways & other site features \_\_\_\_\_

*chat # 356*

C. NEW CONSTRUCTION (check and specify all work items that apply)

- New building \_\_\_\_\_
- New addition \_\_\_\_\_
- New roof structures (dormers, chimneys, etc.) \_\_\_\_\_
- New porch/deck/balcony construct wood deck over existing stone patio
- New awning/canopy \_\_\_\_\_
- New entrances \_\_\_\_\_
- New window opening/sashes \_\_\_\_\_
- New exterior lighting install flood lights 2nd story (left and right side of h
- New fence/wall/gate \_\_\_\_\_
- New parking/walkways/other site features off street parking space 4th Ave
- Exterior utility service/mechanical equipment exterior charge port for EV

D. STREETSCAPE (check and specify all work items that apply)

- Streetlights
- Furniture & equipment (benches, bollards, utilities equipment, charging stations, etc)
- Curbs and sidewalks

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

Enter Description here:

- 1) Repoint masonry exterior property as needed for general maintenance.
- 2) Repoint chimney as needed for general maintenance.
- 3) Install security flood lights 2nd story (right and left side of house)
- 4) Build brick parking space rear of property (4th Str) / reposition fence and gate opening to allow vehicle access & parking
- 5) Install exterior Charge Port for Electrical Vehicle (rear of property not visible to street)
- 6) Construct wood deck over existing stone patio
- 7) Repair and replace existing wood fencing (as needed for general maintenance)
- 8) Replace front door w/ wood door (same construction/design as existing)
- 9) Install metal and railings steps side porch, steps front porch, steps leading to sidewalk

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties.

*I have examined this application, its requirements and to my knowledge and belief, is a true, correct, and complete application. In filling out this application, I understand that it becomes part of the Public Record of the City of New Castle and hereby certify that all information contained herein is accurate to the best of my knowledge.*

*I further understand that if this application is for a Consultation, preapplication consultations resulting in a recommendation for conceptual approval by HAC are advisory in nature and shall inure no rights in the applicant. No project work may be taken based solely upon a recommendation following consultation with HAC. I must still obtain an approved Historic Review Certificate before project work can begin.*

*I also understand that further development approvals, reviews, and a building permit may also be required prior to starting project work and will consult with the City Building Official for specific project requirements.*

PRINT APPLICANT'S NAME James A Coty

SIGNATURE OF APPLICANT  DATE 5/2/20

PRINT OWNER'S NAME \_\_\_\_\_

SIGNATURE OF OWNER Same as above DATE \_\_\_\_\_

## APPLICANT COMPLETENESS REVIEW CHECKLIST & ACKNOWLEDGMENT

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Relevant information necessary for the issuance of a HAC Review Certificate include, but are not be limited to, the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Historic Area Commission Guidelines and Standards*. The minimum application requirements for each scope of work are indicated below. Discuss the project with City Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal for inclusion on the agenda of the HAC meeting.

Complete applications must be submitted up to 15 days before the meeting to be included on the agenda.

JAC

### INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

\*The below is a list of requirements based upon the scope of work. To be completed by planning staff\*

#### ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing roof and affected features
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only)

#### EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing surface or feature including close-up and full building perspective
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing the siding, finish, or feature and the extent of the affected area
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture

#### PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.

#### AWNING/CANOPY

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing awning/canopy or location of proposed awning/canopy
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the facade
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing the existing awning/canopy and the extent of the affected area

#### EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing door(s) or location of proposed new door opening(s)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	For new openings, a scaled wall section
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing the existing door(s) and the extent of the affected area.

CONTINUED

\*The below is a list of requirements based upon the scope of work. (To be completed by planning staff)\*

**WINDOWS** (windows, shutters, and other associated features)

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) For new openings, a   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | scaled wall section with proposed window   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

**FOUNDATION** (replacement, infill, alteration including elevation)

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

**EXTERIOR ELECTRICAL/MECHANICAL** (light fixtures, vents, utilities, HVAC units, pool systems, vending)

- | OK                       | Need                     | N/A                      |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity, hardware, colors/finish   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building          |

**FENCES/WALLS/GATES**

- |                          |                          |                          |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area of proposed fence/wall/gate and detail photo of any existing fence/wall/gate   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section   |

**PARKING, LANDSCAPE OR OTHER SITE FEATURE** (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing   |

**NEW CONSTRUCTION** (accessory structure/outbuilding, garage, and other new buildings)

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area                      |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing property line and existing site features like buildings, sidewalks, driveways        |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features                                |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features                                |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wall sections   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code        |

Tier 01 Review	Tier 2 Review
<input type="checkbox"/>	<input type="checkbox"/>

**PRINT**

Project Address: \_\_\_\_\_

Reviewed for completion by: \_\_\_\_\_ Date: \_\_\_\_\_

OFFICE OF CODE ENFORCEMENT

NOTICE



CITY OF NEW CASTLE  
900 WILMINGTON ROAD  
NEW CASTLE, DE 19720  
302-322-9801  
302-323-2144 - (fax)

Regular

Certified

Tax Parcel # 21-01520-025

Complaint #. V2600133

Date of Violation: 04/24/26

Time of Violation:

Violation Location: 140 E THIRD ST

Owner: COTY JAMES ANDREW

Address: 140 E THIRD ST

Address: 140 E THIRD ST

NEW CASTLE DE

Resident or Violator:

19720

**Code(s) Applicable**

230 Zoning

303 Exterior structure-IPMC

230  
304

Obtain permit/HAC approval for exterior property .working brick pointing .

**Specific Violation Detail:**

PLEASE HAVE ABOVE VIOLATIONS COMPLETED PROPERLY BY 04/29/2026 AS NOT TO ACCRUE FINES

**Directive:**

Obtain permit/HAC approval for exterior property working brick pointing .

Chapter 140, Sections 10, 11, 12, 13 & 14 outline inspections and "excessive consumption of inspections" fees and procedures which could apply to this situation.

Chapter 140, Article IV outlines the process to appeal any adverse decision by the City.

Notice of Violation is hereby given to the above listed. Failure to comply with the above Directive may result in the commencement of legal action for the purpose of seeking the penalties established in the appropriate code.

Code Enforcement Officer

CURRENT STONE PATIO REAR PROPERTY:



PROPOSED WOOD DECK AND STAIRS TO REPLACE EXISTING PATIO

No change to elevation



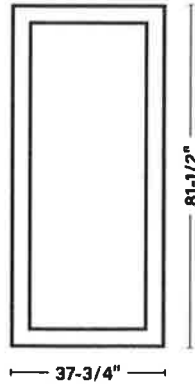


SIDE PATIO STEPS ABOVE  
PROPOSED METAL HANDRAIL





CURRENT FRONT DOOR ABOVE  
REPLACE WITH WOOD SLAB DOOR BELOW



[View All Images](#)

At a Glance



Finish: Unfinished



Material: Wood



Handing: Left-hand inswing





REPOINT AS NEEDED SIDE PATIO 1<sup>st</sup> and 2<sup>nd</sup> FLOOR EXTERIOR



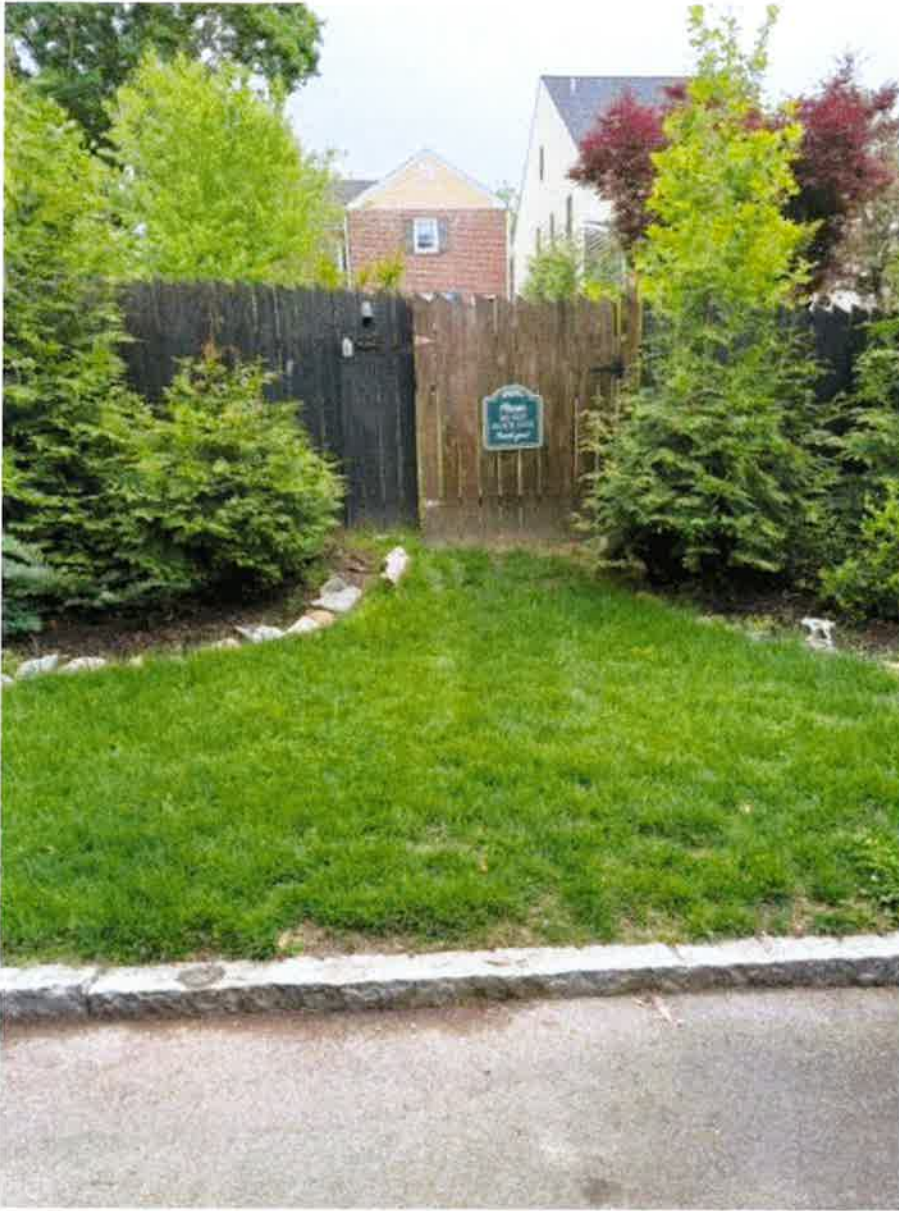
REPOINT EXTIOR BRICK AS NEEDED



REPOINT BRICK AS NEEDED



PROPOSED HAND RAIL FOR STEPS LEADING TO STREET AND FRONT DOOR



PROPOSED LOCATION FOR SINGLE BRICK DRIVEWAY WITH FENCE OPENING  
EV CHARGING STATION INSTALLATION INSIDE FENCE (not visible from street)



PREVIOUSLY APPROVED LOCATION FOR DRIVEWAY ON 4<sup>th</sup> AVE. REAR OF PROPERTY



REPOINT BRICK AS NEEDED

SECURITY LIGHT INSTALLED CORNERS SECOND STORY FRONT AND REAR

\*\* ROOF REPAIR NEEDED ALONG EDGE OF THE ROOF LINE VISIABLE IN PHOTO RIGHT OF CHIMNEY DUE TO SQUIRL DAMAGE



SECURITY LIGHT INSTALL ABOVE 2<sup>nd</sup> STORY WINDOW



HISTORIC AREA COMMISSION REVIEW APPLICATION

CONSULTATION HISTORIC REVIEW CERTIFICATE

Table with columns: Fee, Paid On. Row 1: \$50.00

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date

1. NAME OF APPLICANT: Tim Conky
Business (if applicable): Delaware / Remodeling
Address: 334 W Commerce St
City: Smyrna State: DE Zip Code: 19977
Daytime telephone: Other phone/email:

The above contact information will be used for correspondence. Please ensure this information is accurate.

2. NAME OF PROPERTY OWNER: Sharlene Oyagi
Business (if applicable):
Address: 900 Washington St
City: New Castle State: DE Zip Code: 19720
Daytime telephone (required): Other phone:

3. PROJECT STREET ADDRESS: 900 Washington St

4. LEGAL DESCRIPTION: Lot Block Subdivision Parcel

5. EXISTING USE: Home PROPOSED USE: Home

6. PROPOSED PROJECT WORK
A. DEMOLITION YES NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

- REPAIR REPLACE
Roof
Roof structures (dormers, chimneys, etc.)
Exterior finishes (stucco, masonry, siding)
Porch/Deck/Balcony (checked)
Awning/Canopy
Exterior Doors
Windows
Shutters
Foundation (including infill)
Exterior lighting & other appurtenances
Existing fences, walls & gates
Existing parking, walkways & other site features

C. NEW CONSTRUCTION (check and specify all work items that apply)

- New building \_\_\_\_\_
- New addition \_\_\_\_\_
- New roof structures (dormers, chimneys, etc.) \_\_\_\_\_
- New porch/deck/balcony \_\_\_\_\_
- New awning/canopy \_\_\_\_\_
- New entrances \_\_\_\_\_
- New window opening/sashes \_\_\_\_\_
- New exterior lighting \_\_\_\_\_
- New fence/wall/gate \_\_\_\_\_
- New parking/walkways/other site features \_\_\_\_\_
- Exterior utility service/mechanical equipment \_\_\_\_\_

D. STREETSCAPE (check and specify all work items that apply)

- Streetlights
- Furniture & equipment (benches, bollards, utilities equipment, charging stations, etc)
- Curbs and sidewalks

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

Enter Description here:

Replace Deck  
Same materials as Existing  
  
Treated Lumber

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties.

*I have examined this application, its requirements and to my knowledge and belief, is a true, correct, and complete application. In filling out this application, I understand that it becomes part of the Public Record of the City of New Castle and hereby certify that all information contained herein is accurate to the best of my knowledge.*

*I further understand that if this application is for a Consultation, preapplication consultations resulting in a recommendation for conceptual approval by HAC are advisory in nature and shall inure no rights in the applicant. No project work may be taken based solely upon a recommendation following consultation with HAC. I must still obtain an approved Historic Review Certificate before project work can begin.*

*I also understand that further development approvals, reviews, and a building permit may also be required prior to starting project work and will consult with the City Building Official for specific project requirements*

PRINT APPLICANT'S NAME \_\_\_\_\_

SIGNATURE OF APPLICANT \_\_\_\_\_

DATE

3/17/20

PRINT OWNER'S NAME \_\_\_\_\_

SIGNATURE OF OWNER \_\_\_\_\_

DATE \_\_\_\_\_

## APPLICANT COMPLETENESS REVIEW CHECKLIST & ACKNOWLEDGMENT

All work performed in a Historic District, Residence or Commercial, requires prior approval of the Historic Area Commission (HAC) and the issuance of a Historic Review Certificate pursuant to Section 230-45 of the Zoning Code.

Applicants for work to be done in Historic Zoning Districts must submit applications to the Historic Area Commission and obtain the required certificate in addition to obtaining a building permit.

All proposed work items shall be reviewed for consistency and compliance with the most recent edition of the "City of New Castle Historic Area Commission Guidelines and Standards" and its Supplements. Copies of this document are available the website at <https://newcastlecity.delaware.gov/historic-area-commission/>

Relevant information necessary for the issuance of a HAC Review Certificate include, but are not be limited to, the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Historic Area Commission Guidelines and Standards*. The minimum application requirements for each scope of work are indicated below. Discuss the project with City Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal for inclusion on the agenda of the HAC meeting.

Complete applications must be submitted up to 15 days before the meeting to be included on the agenda

### INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

\*The below is a list of requirements based upon the scope of work. To be completed by planning staff

#### ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)

- | OK                       | Need                     | N/A                      |
|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing roof and affected features
  - Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
  - Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
  - Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only)

#### EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)

- | OK                       | Need                     | N/A                      |
|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing surface or feature including close-up and full building perspective
  - Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
  - Documentation of justification for changing the siding, finish, or feature and the extent of the affected area
  - Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture

#### PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)

- | OK                       | Need                     | N/A                      |
|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony
  - Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
  - Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
  - Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
  - Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.

#### AWNING/CANOPY

- | OK                       | Need                     | N/A                      |
|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing awning/canopy or location of proposed awning/canopy
  - Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
  - Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the facade
  - Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
  - Documentation of justification for changing the existing awning/canopy and the extent of the affected area

#### EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)

- | OK                       | Need                     | N/A                      |
|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing door(s) or location of proposed new door opening(s)
  - Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening)
  - For new openings, a scaled wall section
  - Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware
  - Documentation of justification for changing the existing door(s) and the extent of the affected area

CONTINUED

\*The below is a list of requirements based upon the scope of work. (To be completed by planning staff)\*

**WINDOWS** (windows, shutters, and other associated features)

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) For new openings, a   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | scaled wall section with proposed window   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

**FOUNDATION** (replacement, infill, alteration including elevation)

- | OK                       | Need                     | N/A                      |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

**EXTERIOR ELECTRICAL/MECHANICAL** (light fixtures, vents, utilities, HVAC units, pool systems, vending)

- | OK                       | Need                     | N/A                      |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity, hardware, colors/finish   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building          |

**FENCES/WALLS/GATES**

- |                          |                          |                          |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area of proposed fence/wall/gate and detail photo of any existing fence/wall/gate   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section   |

**PARKING, LANDSCAPE OR OTHER SITE FEATURE** (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing   |

**NEW CONSTRUCTION** (accessory structure/outbuilding, garage, and other new buildings)

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area                      |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing property line and existing site features like buildings, sidewalks, driveways        |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features                                |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features                                |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wall sections   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code.       |

Tier 01 Review

Tier 2 Review

PRINT

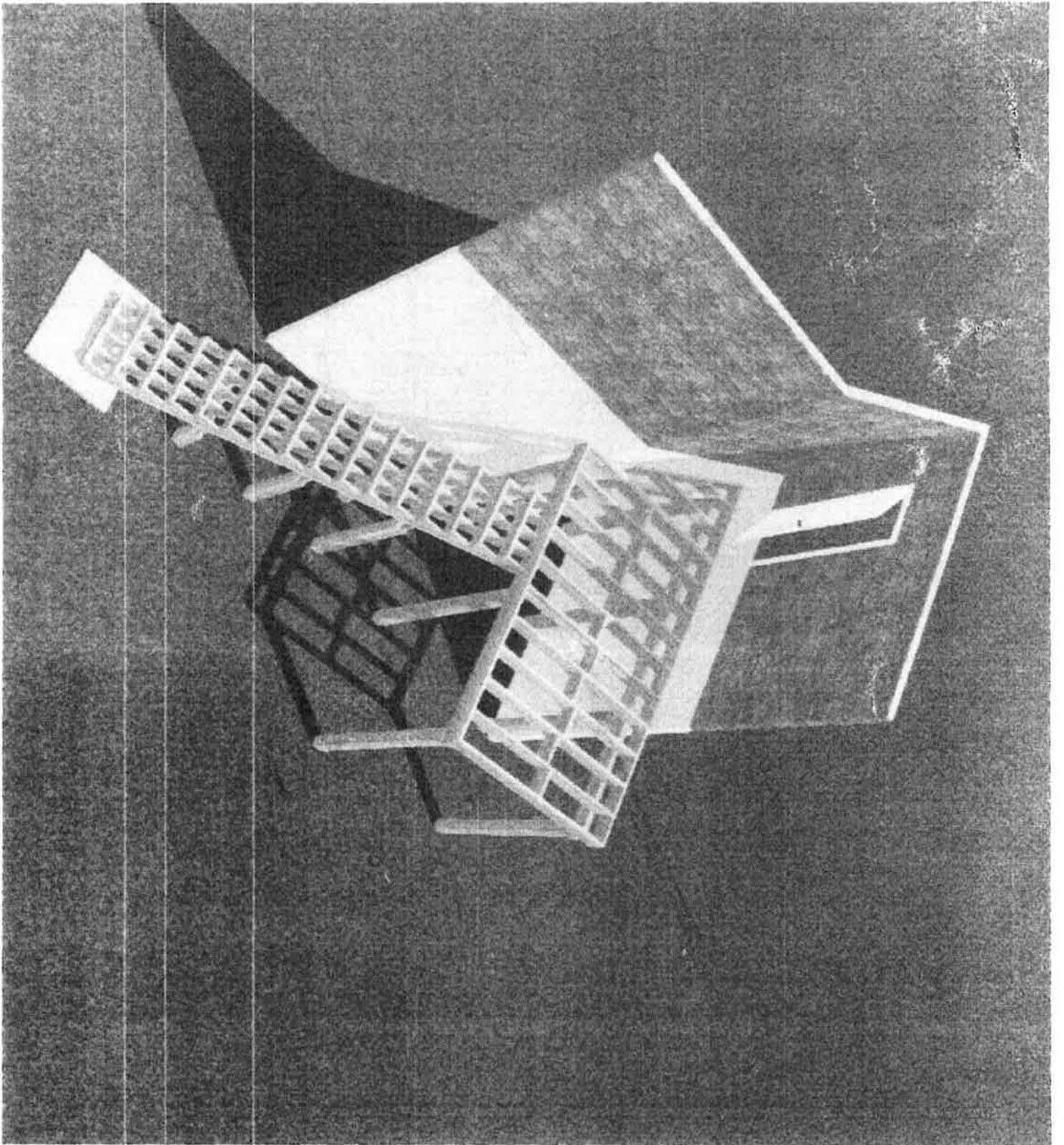


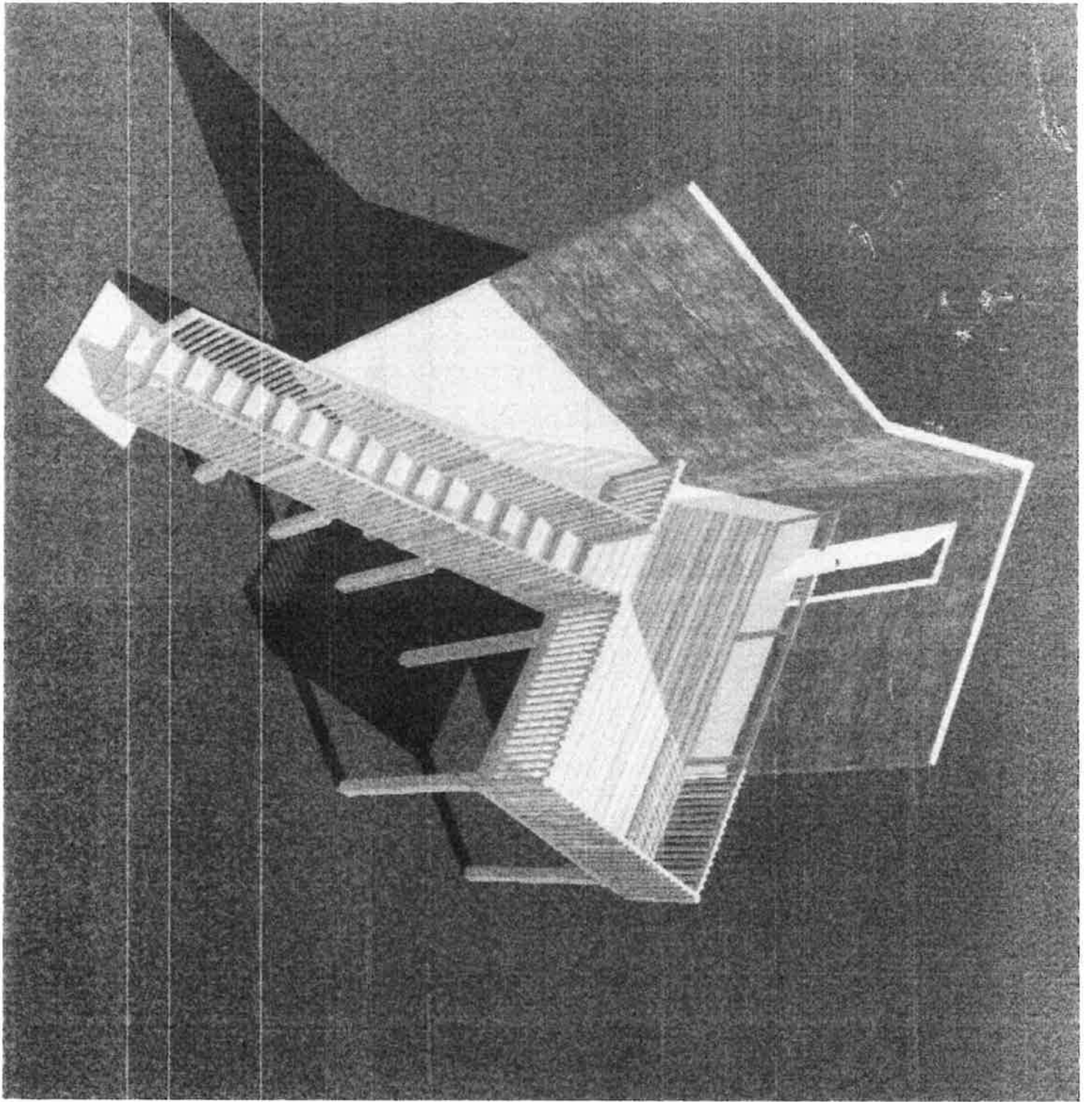
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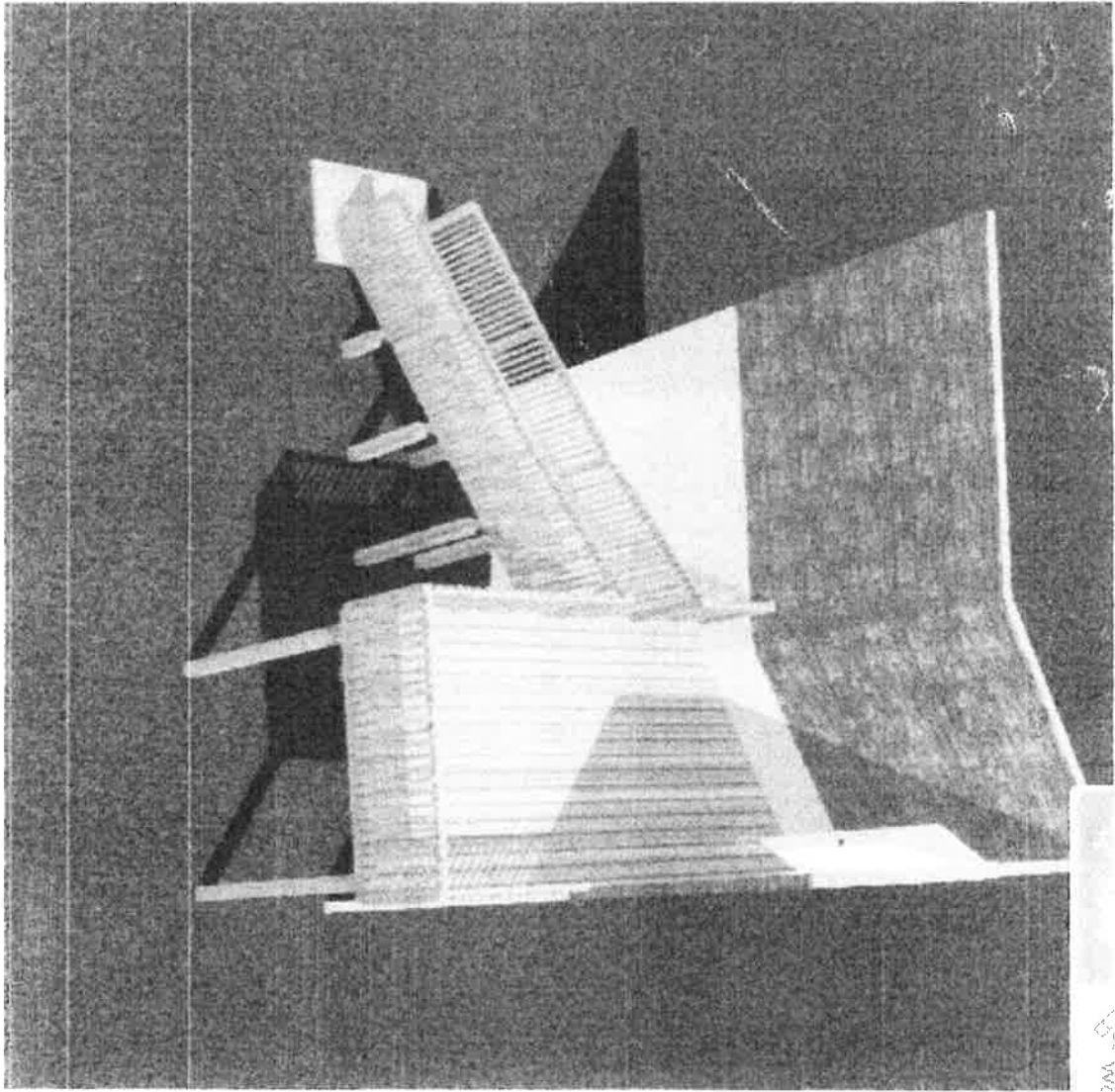
Reviewed for completion by: \_\_\_\_\_ Date: \_\_\_\_\_

## Deck Materials list

Decking	Treated 5/4 X 6" Deck boards
Rails	2 X 6 Treated
Ballusters	2 x 2 treated square
Steps stringers	2 x 12 treated
Stair treads	2 x 10 treated
Supports	6 x 6 trated columns
band boards and joists	2 x 10 treated
joist hangers	simpson strong 10 D Nails
Flashing	Tar backed nylon flashing tape
Bolts	1/2 Galvanized carrage bolt with washers and nuts
anchors	1/2 " Galvanized concrete anchor bolts
Footers	18" footer concrete flush mount with exposed 6x6Galvanized simpson mount bracket with embeded Galvanized J bolts.





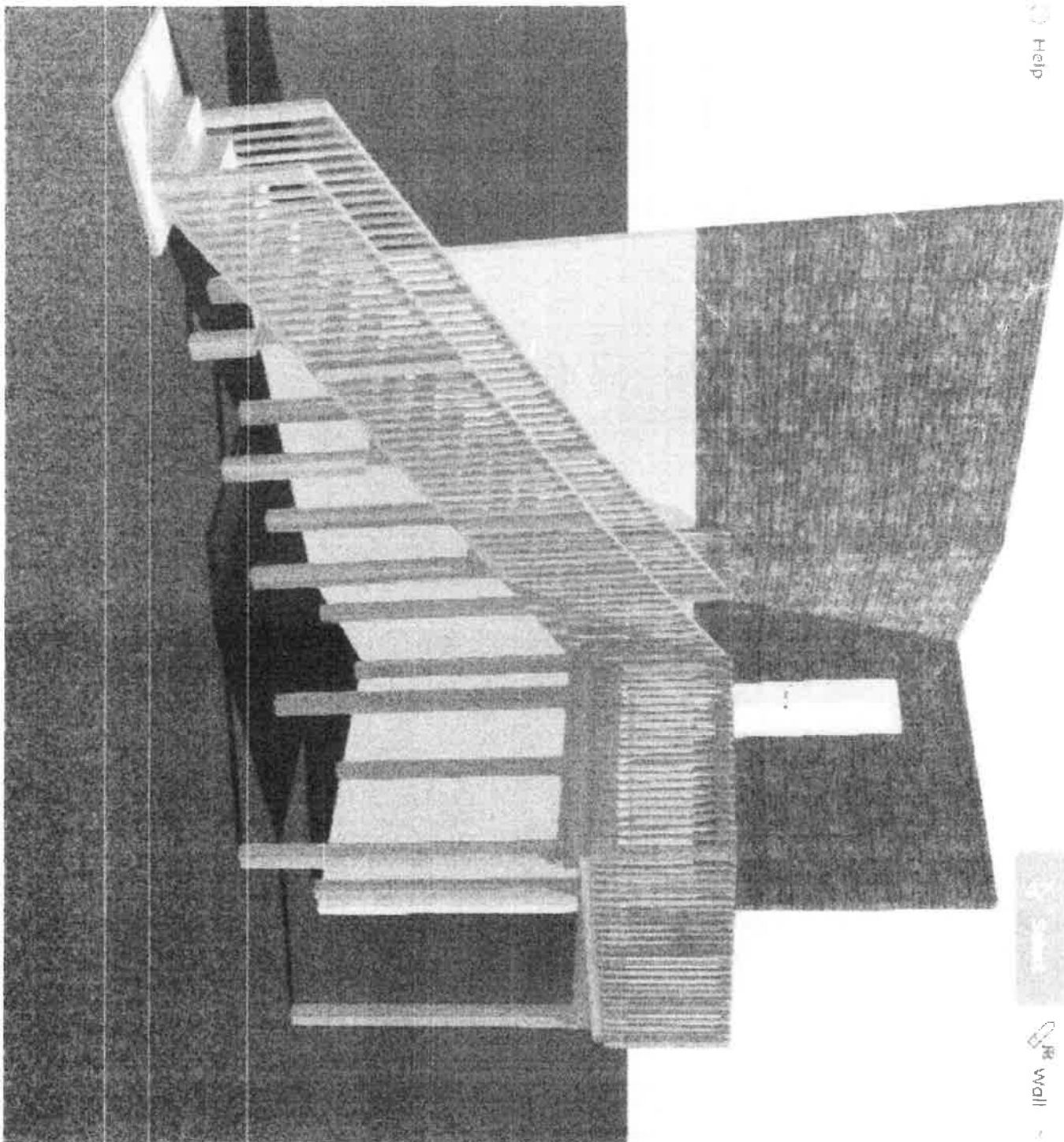


15-22

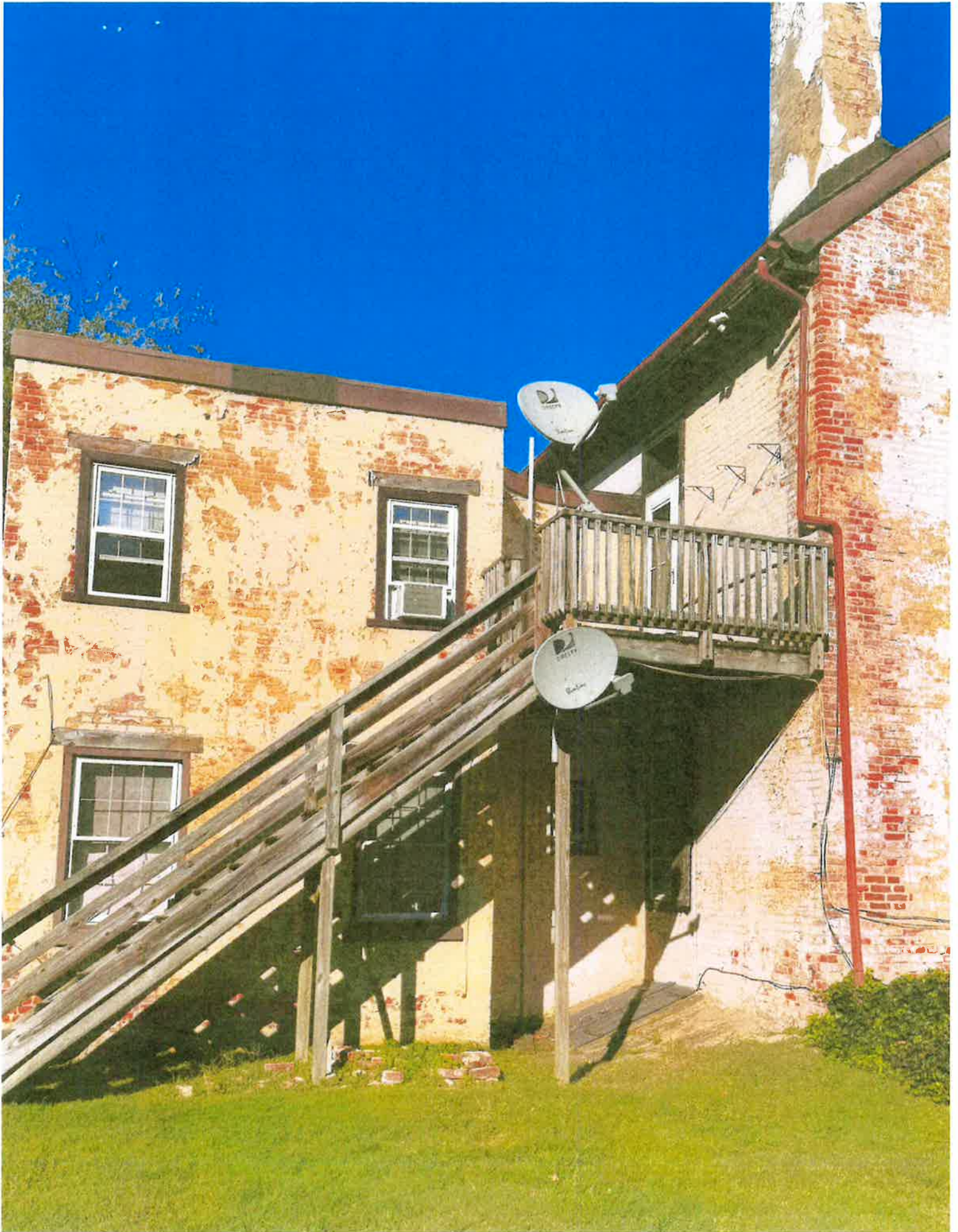
Help

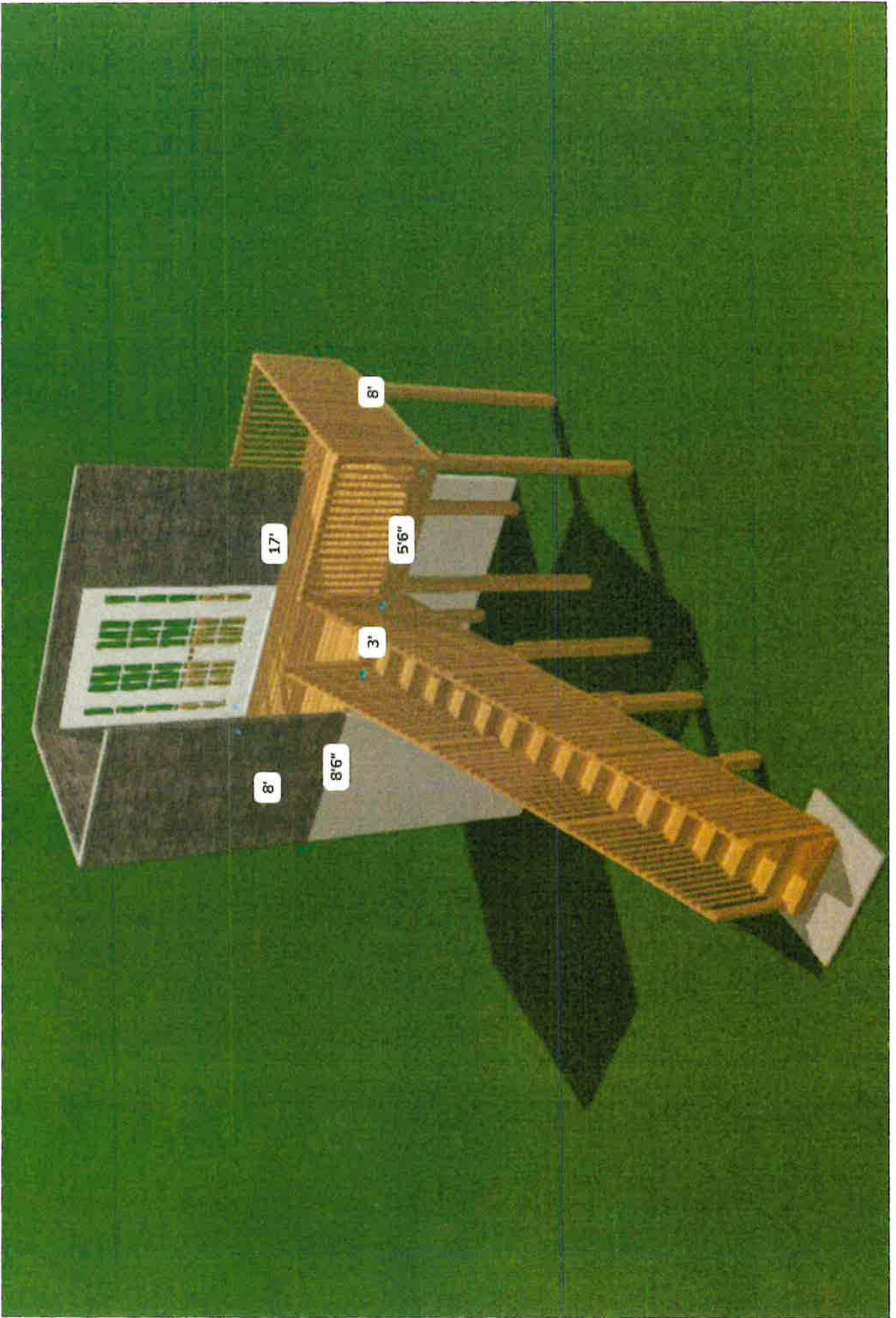
Wall

Wall

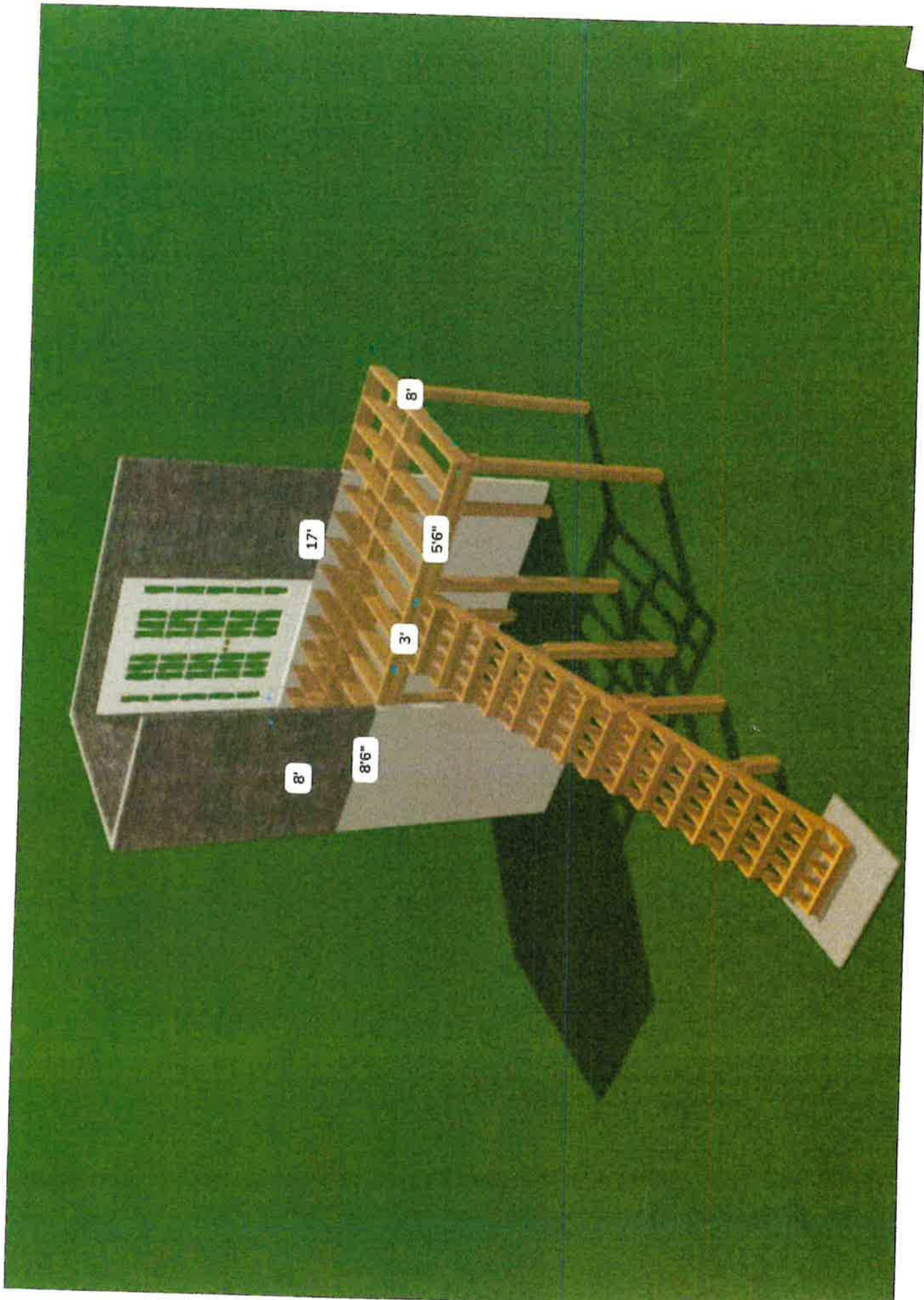












8'

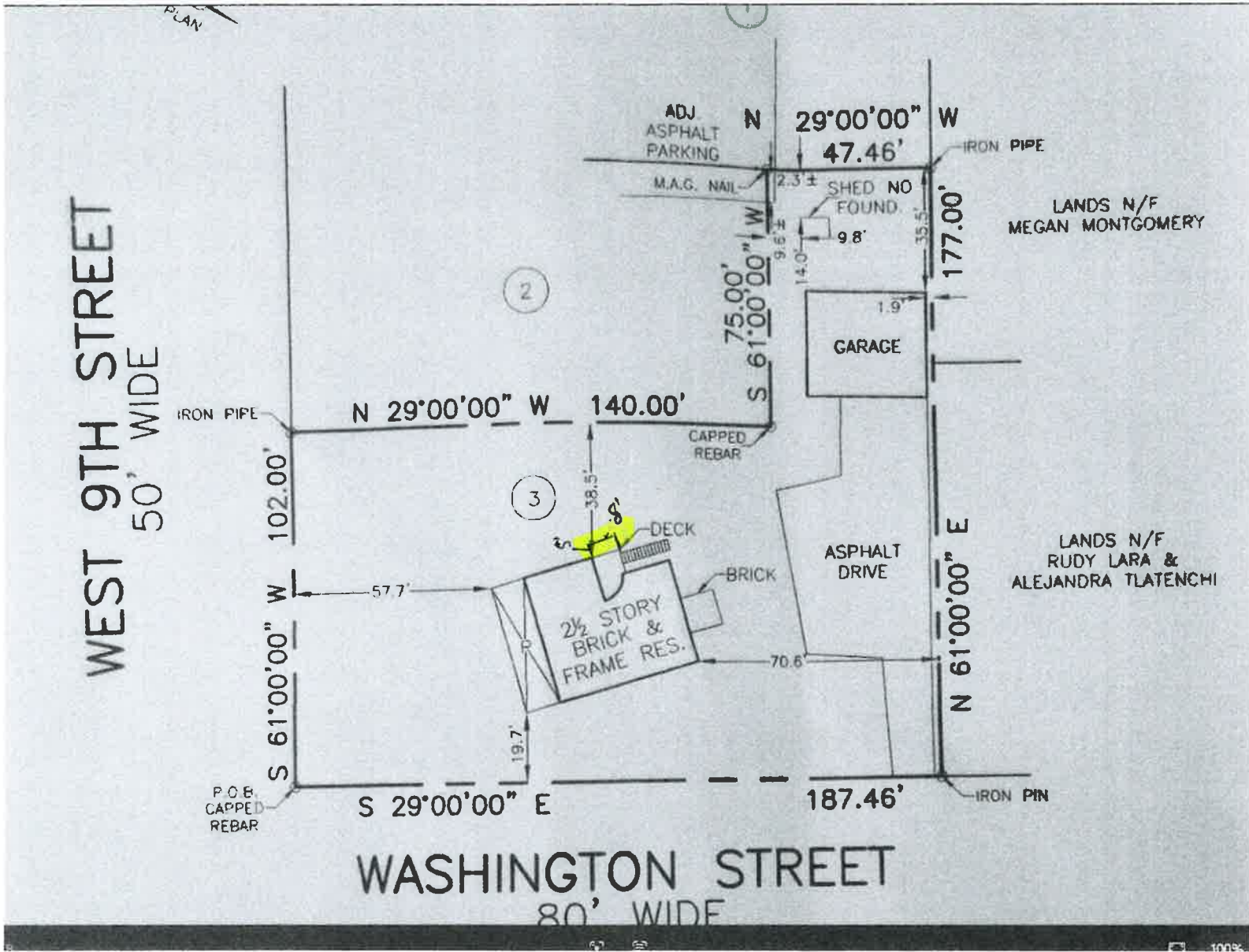
17'

8'

5'6"

3'

8'6"






WEST 9TH STREET  
50' WIDE



WASHINGTON STREET  
80' WIDE

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OWNER: SHARLENE OYAGI	ZONED: R-3 (BUILT 1900)	
<b>PLOT PLAN</b> 900 WASHINGTON STREET LOT 3	SETBACKS: FRONT - 20' REAR - 25' SIDE - 10'	
	<b>AMERICAN EASTCOAST SURVEYING &amp; MAPPING</b> 3015 OLD CAPITOL TRAIL WILMINGTON, DE 19808 PHONE: 302-993-3059 EMAIL: OFFICE@AESURVEYORS.COM	
CITY OF NEW CASTLE NEW CASTLE COUNTY - DELAWARE	SCALE: 1"=50'      DATE: 9/17/25	
TAX PARCEL # 21-014.00-143	JOB # 20252086      CLASS: S SURVEY	
D REF: 20250825-0060752	PLAT REF: MF#599	

## Memorandum

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**Date:** Tuesday, May 26, 2026

**Tt Project No.:** 200-312828-20001

**Location:** 900 Washington Street  
New Castle, DE

**Subject:** Application Status Report and May 19, 2026 Site Visit

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### 1. Background

- a) Application received by TT on 04/01/2026.
- b) Initial review dated 04/01/2026 noted:

***The proposed application consists in the full removal and reconstruction of the rear deck and stairs, with a footprint of the new deck larger than the existing. This scope requires HAC review***

**Note:**

***The proposed materials include pressure treated wood.***

***The HAC Guidelines note the following (page 129):***

***6. Rear Decks and Enclosed Porches***

***a. Rear decks and enclosed porches may be acceptable in the Historic District if located inconspicuously and screened from public view.***

***b. Decks, porches and railings should be designed to be compatible in material, color, scale and detail with the existing building.***

***e. Decks/porches should be painted or stained to be compatible with the color of the existing building.***

***f. The use of unfinished lumber or decking as the finished appearance of a deck is NOT appropriate.***

***Applicant may contact Architect for discussion of appropriate materials prior to submission to HAC.***

Review noted an action of *Additional Information Required* and a status of *Open*, with following finding:

***HAC review required.***

***Conformance to be determined.***

***To be added to May 2026 HAC meeting agenda.***

- c) Follow-up in 04/15/2026 pending applications reviews noted the following in addition to the above:

***Have contractor contact HAC architect for discussion prior to May 2026 meeting - current design does not conform with HAC Design Guidelines & Standards.***

- d) Follow-up in 4/24/2026 pending applications reviews noted the following in addition to the above:

***STILL OPEN: No outreach from applicant or co tractor.***

- e) Follow-up in 05/06/2026 pending applications reviews noted the following in addition to the above:

***UPDATE - STILL OPEN***

**2. Contractor Follow-Up Documentation provided via City**

None

**3. Contractor Communications**

- a) Tim Conley leaves voice mail and text on 05/13/2026 “checking in about 900 Washington St.” and asking if Architect has concerns with the structural properties of the deck or the look of the deck.
- b) Applicant attends 05/14/2026 HAC meeting and reports that application can be addressed as administrative review and asking for assistance.
- c) Site visit with building code official is scheduled for 05/19/2026.

**4. Site Visit (see photographs at end of memorandum)**

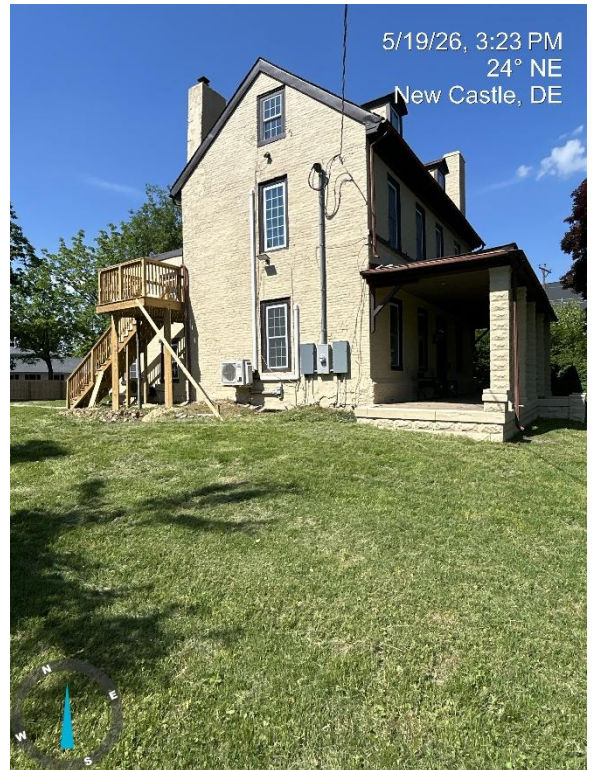
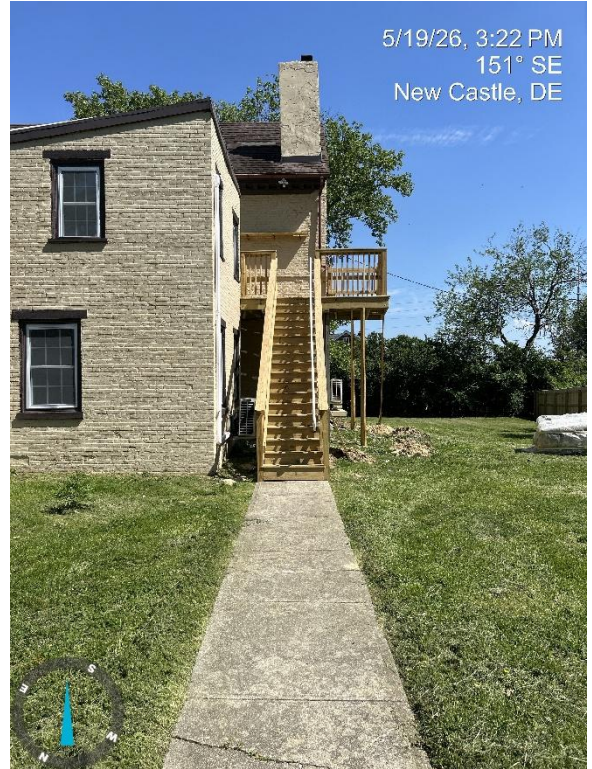
- a) At site visit it is apparent deck was constructed; upon discussion it is stated it was started at least in March of 2026.
- b) Contractor said he was told by phone that Hac review was not required and could not state who said that. Architect notes that Owner had gone through the review process to get the fence approved; their contractor had worked closely with Architect prior to meeting to get concurrence.
- c) There are several design elements that do not comply with HAC Design Guidelines and Standards:
  - i. Deck is pressure treated wood – unfinished lumber is not appropriate.
  - ii. Deck is more rustic in its detailing and does not match the detailing of the existing building.
  - iii. Deck needs to be painted, which cannot be done until pressure treated wood is seasoned.
- d) Building code official notes structural deficiencies and the need for signed and sealed drawings to be submitted.
- e) Architect reiterates the two-tier application process.
- f) Pictures from public right-of-way show limited visibility.

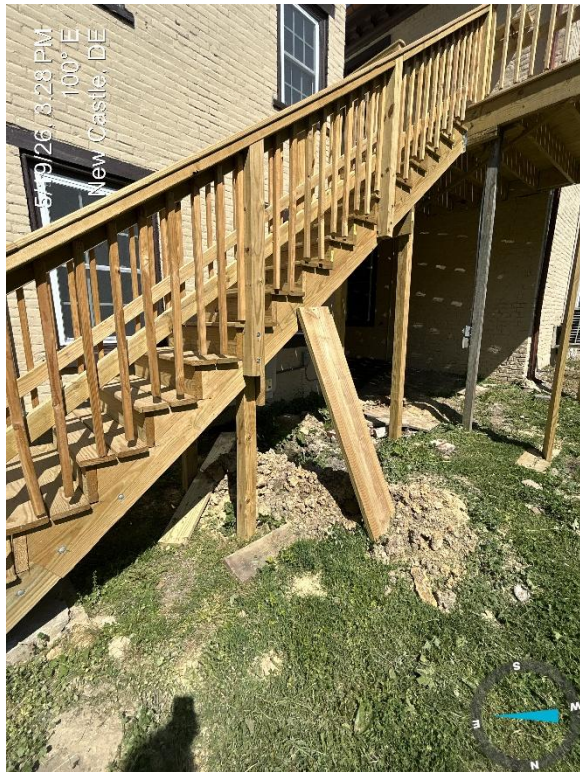
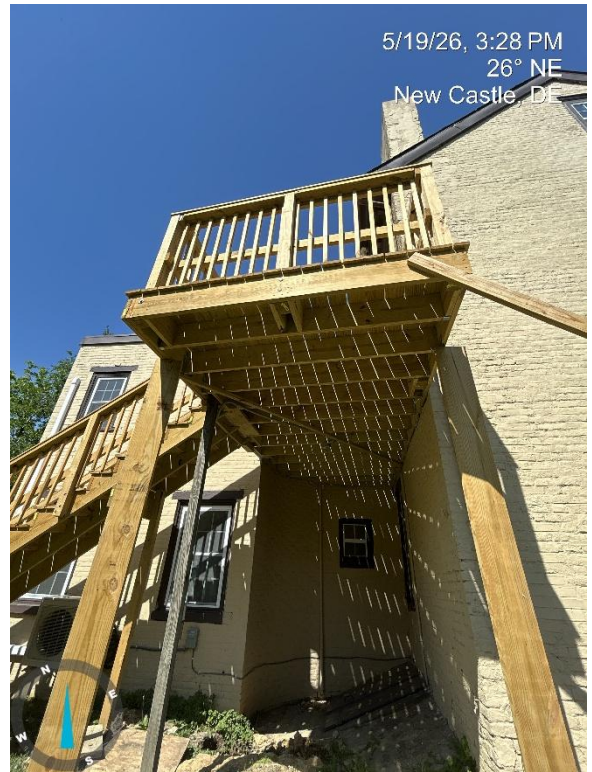
**5. Follow up communication**

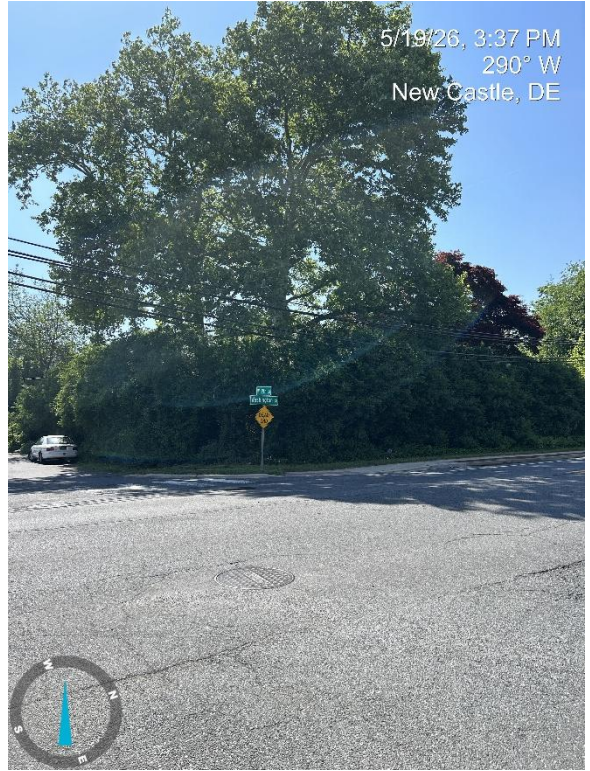
- a) Contractor leaves VM and follows up with text noting he had some thoughts on the deck. *“It was put up in January. That’s when we first applied for the permit. So that would [wood] is good to paint now.”*

**6. Findings**

- a) Deck constructed without HAC review or issuance of Historic Review Certificate.
- b) Deck design elements do not comply with HAC Design Guidelines & Standards.
- c) HAC Guidelines & Standards apply to rear decks and enclosed porches, even when not visible from the public right-of-way, and include provisions and guidance for their design.







**End of Memorandum**